

"The City With a Heart"



Rick Biasotti, Chair
Marie Kayal, Vice Chair
Kevin Chase
Mary Lou Johnson
Sujendra Mishra
Perry Petersen
Joe Sammut

AGENDA PLANNING COMMISSION MEETING

September 20, 2016

7:00 p.m.

Meeting location: Senior Center, 1555 Crystal Springs Road, San Bruno

Planning Commission meetings are conducted in accordance with Roberts Rules of Order Newly Revised. You may address any agenda item by approaching the microphone until recognized by the Planning Commission Chair. All regular Planning Commission meetings are recorded and televised on CATV Channel 1 and replayed the following Thursday, at 2:00 pm. You may listen to recordings in the Community Development Department. Complete packets are available online at www.sanbruno.ca.gov and at the library. In compliance with the Americans with Disabilities Act, individuals requiring reasonable accommodation for this meeting should notify us 48 hours prior to meeting. Notices, agendas, and records for or otherwise distributed to the public at a meeting of the Planning Commission will be made available in appropriate alternative formats upon request by any person with a disability. Please make all requests to accommodate your disability to the Community Development Department 650-616-7074.

ROLL CALL

PLEDGE OF ALLEGIANCE

1. APPROVAL OF MINUTES: August 16, 2016

2. COMMUNICATIONS:

3. PUBLIC COMMENT ON ITEMS NOT ON AGENDA

Individuals allowed three minutes, groups in attendance, five minutes. If you are unable to remain at the meeting, ask the Recording Secretary to request that the Planning Commission consider your comments earlier. It is the Planning Commission's policy to refer matters raised in the forum to staff for investigation and/or action where appropriate. The Brown Act prohibits the Planning Commission from discussing or acting upon any matter not agendaized pursuant to State Law.

4. ANNOUNCEMENT OF CONFLICT OF INTEREST

5. PUBLIC HEARINGS:

A. 1429 Kains Avenue (APN: 020-082-020)

Zoning: R-1 (Single-Family Residential)

Recommended Environmental Determination: Categorical Exemption

Request for a Use Permit to allow the construction of a 566 square foot addition that exceeds the maximum permitted floor area guideline of .55 (.57), and exceeds 1,825 square feet of living area (2,745s.f.) with a one car garage per Section 12.200.030.B.2 and 12.200.080.A.2 of the San Bruno Municipal Code. Veronica and Fabian Juarez (Applicant & Owner). **UP-16-009**

The applicant has requested and staff supports a continuance of this item to October 18, 2016.

- B. 811 Reid Avenue** (APN: 020-094-070)
Zoning: R-1 (Single-Family Residential)
Recommended Environmental Determination: Categorical Exemption

Request for a Use Permit to allow the construction of a 768 square foot addition which increases the gross floor area of the existing home by greater than 50% (62%), per Section 12.200.030.B.1 of the San Bruno Municipal Code. Steven C. Randel (Applicant); Mark Calonico (Owner). **UP-16-015**

- C. 718 Cypress Avenue** (APN: 020-054-120)
Zoning: R-1 (Single-Family Residential)
Recommended Environmental Determination: Categorical Exemption

Request for a Use Permit to allow the construction of a second-story addition that would add 404 square feet of living area to the existing single-family home. Use permit authorization is required because the proposed living area (2,051 square feet) would exceed the maximum 1,825 square feet of living area allowed for a one-car garage, the addition would result in a cumulative increase in gross floor area by greater than 50% (66%), and to allow a second-story deck facing an interior side yard adjacent to an abutting property which has a side yard greater than ten feet, per Sections 12.200.060.C, 12.200.030.B.1 and B.5, 12.200.080.A.2, and 12.200.040.B.1 of the San Bruno Municipal Code. Paul Nii (Applicant); Michael Fellion (Owner). **UP-16-014**

- D. 139 Florida Avenue** (APN: 020-375-130)
Zoning: R-2 (Low Density Residential)
Recommended Environmental Determination: Categorical Exemption

Request for a Use Permit to allow the construction of a 1,296 square foot first and second floor addition on the east side of the building, increasing the gross floor area of the existing home by greater than 50% (121%) and exceeding 1,825 square feet of living area (1,870 s.f.) with a one car garage; per Sections 12.200.030.B.1 and 12.200.080.A.2 of the of the San Bruno Municipal Code. Echo Liu (Applicant); Shui Ben Lau (Owner). **UP-15-001**

- E. CalTrans Property at NW corner of San Bruno Ave. West and Glenview Drive**
(APN: 019-043-490)
Zoning: C-N (Neighborhood Commercial)
Recommended Environmental Determination: Categorical Exemption

Request for a Temporary Use Permit to allow an off-site construction staging area within the Crestmoor neighborhood per Section 12.84.030 of the San Bruno Municipal Code. The property will continue to serve as a construction staging area for the ongoing infrastructure improvements within the Crestmoor neighborhood. City of San Bruno (Applicant); State of California (Owner) **TUP-16-004.**

6. DISCUSSION

A. CITY STAFF DISCUSSION

- Select the October 13, 2016 Architectural Review Committee members

B. PLANNING COMMISSION DISCUSSION

7. ADJOURNMENT

The next regular Planning Commission Meeting will be held on October 18, 2016 at 7:00 p.m. at the Senior Center, 1555 Crystal Springs Road, San Bruno.



Rick Biasotti, *Chair*
Marie Kayal, *Vice Chair*
Kevin Chase
Mary Lou Johnson
Sujendra Mishra
Perry Petersen
Joe Sammut

**MINUTES
PLANNING COMMISSION MEETING**

August 16, 2016

7:00 p.m.

Meeting location: Senior Center, 1555 Crystal Springs Road, San Bruno

CALL TO ORDER at 7:06 pm.

ROLL CALL

	<u>Present</u>	<u>Absent</u>
Chair Biasotti		X
Vice Chair Kayal		X
Commissioner Chase	X arrived 7:15	
Commissioner Johnson	X	
Commissioner Mishra	X	
Commissioner Petersen	X	
Commissioner Sammut	X	

STAFF PRESENT:

Planning Division:

Community Development Director: David Woltering
Senior Planner: Michael Smith
Long Range Planning Manager: Mark Sullivan
Contract Assistant Planner: Matt Jones

ROLL CALL

PLEDGE OF ALLEGIANCE: Miriam Schalit

- 1. APPROVAL OF MINUTES** – None
- 2. COMMUNICATION** – Introduced new Associate Planner Megan Wooley-Ousdahl, AICP.

3. PUBLIC COMMENT – None

4. ANNOUNCEMENT OF CONFLICT OF INTEREST – None

5. PUBLIC HEARINGS:

A. 123 Poplar Avenue (APN: 020-414-210)

Request for a Use Permit to add a total of 150 square feet of floor area to the existing single-family dwelling and convert 500 square feet of garage area to living area, increasing the living area to 1,945, above the maximum permitted living area of 1,825 for a one car garage; and increasing the gross floor area from 2,045 square feet to 2,195 square feet, above the maximum of 1,650 square feet permitted, and a floor area ratio (FAR) of 0.73 where an FAR of 0.55 is permitted, per sections 12.200.030.B.2 and 12.200.030.B.5 of the San Bruno Municipal Code. Sergio Galdamez (Applicant); Luis Tellez (Owners) UP16-011

Contract Assistant Planner Jones: Presented Staff Report.

Staff recommends that the Planning Commission approve Use Permit 16-011 based on Findings of Fact 1-6 and Conditions of Approval 1-32, with newly proposed condition 33.

Questions for Staff

Commissioner Petersen: Asked for clarification on the correct project data.

Contract Assistant Planner Jones: The correct data is listed on page 3 of the Staff Report.

Commissioner Mishra: Asked which building code cycle will be in effect at the time of construction.

Director Woltering: Staff anticipates that a building permit will be issued before the end of the year, in which case the plans would be subject to the 2013 CBC. In the event the permit is issued on or after the 1st of the year, the newly adopted 2016 CBC would apply.

Commissioner Mishra: Asked if condition 33 will become a standard condition. Suggested that the second sentence of the condition, referencing the placement of waste containers on collection days, be removed.

Director Woltering: Condition 33 was recommended for this application, due to concerns from neighbors about waste containers not being put away in a timely or regular basis. Staff is in agreement with removing the second sentence.

Commissioner Johnson: Suggested storing the waste containers in an area screened by landscaping.

Director Woltering: Since the applicant is in agreement with storing the containers in the garage, per condition 33, staff suggested that condition remain.

Open Public Hearing

Jessica Tellez (Owner): The purpose of the addition is to accommodate their growing family.

Closed Public Hearing

Commission Comments – None

Motion to approve Use Permit 16-011 based on Findings 1-6 and Conditions of Approval 1-32, with added condition 33 proposed by staff and modified by Commission.

Commissioner Petersen/Mishra

VOTE: 5-0
AYES: All Commissioners present
NOES: None
ABSTAIN: None

Findings of Fact

1. The proposed development will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use.

With the condition that the applicant obtain a building permit, the addition will be constructed according to the California Building Code (CBC) and therefore will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

2. The proposed development will not be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the city.

The proposed addition complies with the height limit and setback requirements of the Municipal Code. The addition will continue the same flat roof design and will utilize wood siding, which is consistent with the existing home and the surrounding neighborhood. The proposed addition will be consistent with the size and scale of the adjacent neighbors.

The proposed addition will benefit the City and the surrounding neighborhood by improving the property in a well-designed manner and by its general conformance to a majority of regulations as set forth in the Municipal Code. Therefore, staff determines that the addition will not be detrimental to improvements in the neighborhood or to the general welfare of the City.

3. The proposed development will be consistent with the general plan.

The San Bruno General Plan designates the property as a low-density residential district. The existing single-family dwelling is consistent with the general plan designation.

General Plan Policy LUD-3 states, “protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale”. The size and

scale of the proposed addition is compatible with the size and scale of homes in the neighborhood.

- 4. The proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood.**

The majority of the homes located within the immediate neighborhood are two-story, and are situated on 25'-0" wide lots. Therefore, many of the adjacent homes are constructed directly to the property line and do not have side yard setbacks. However, the proposed addition will be meeting the side yard setback requirements, and the height of the home will remain unchanged. Therefore, the addition will not unreasonably restrict or interfere with light and air on the property.

There is a wide range of floor area ratios in the immediate vicinity, with some as high as .84. Given the design of the home and character of the neighborhood, staff supports the proposed floor area ratio of .73, and finds that the project is consistent with the neighborhood.

- 5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood.**

The home consists of stucco siding on the front elevation and wood siding on all other elevations, which is consistent with the existing neighborhood. The addition will incorporate wood siding on all elevations, which will be consistent with the existing home's secondary elevations. Additionally, the new windows will match the existing windows. The general appearance of the proposed structure will be in keeping with the character of the adjacent residences and neighborhood and will not be detrimental to the city.

- 6. The proposed expansion complies with applicable off-street parking standards of the zoning ordinance.**

On site there is currently a 750 square foot one car garage/storage area. Due to its configuration, only one car can utilize the existing garage. The garage space will be slightly reconfigured due to the expansion of the first floor living area. The newly configured first floor will decrease the amount of garage space by approximately 500 square feet, resulting in a 250 square foot one car garage. Because the combined living area existing single-family home and the proposed addition amounts to greater than 1,825 square feet, the applicant would be required to provide an additional covered parking space. Staff has confirmed that the free-and-clear space to park a vehicle would be approximately 20' deep by 12' wide, which satisfies code requirements. The applicant is not increasing their bedroom count, and the addition is 150 square feet. The driveway is a substandard length and cannot accommodate a vehicle. Staff is including a condition requiring that the designated 250 square feet of garage area not be used for storage, and must be kept free-and-clear for vehicle storage. This condition will mitigate any potential concerns about neighborhood parking.

CONDITIONS OF APPROVAL

Community Development Department – (650) 616-7089

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 16-011 shall not be valid for any purpose. Use Permit 16-011 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit for an addition shall be built according to plans approved by the Planning Commission on August 16, 2016, labeled Exhibit C except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The residence shall be used only as a single-family residential dwelling unit. No portion of the residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
7. The designated 250 square foot garage area shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the Uniform Building Code. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage area back into conformance.
8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning and Building staff to ensure compliance with the conditions of approval during the construction process.
9. Prior to Final Inspection, 20% of the site shall be landscaped to the satisfaction of the Community Development Director. No more than 80% of the lot shall consist of impervious surface.

10. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.
11. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.
12. Comply with the 2013 California Codes, including the California Residential Code.
13. The proposed addition is less than 5 feet from left (south) property line. A one hour fire resistive wall assembly is required along this wall line.
14. Altered sleeping room in basement area shall meet all current life safety code requirements including conformance with the following sections: 2013 CRC Sections R310.2.1,
15. Relocation of gas fueled appliances such as the Furnace, Water Heater, Clothes Dryer require venting and make up air. Provide calculations and specify means to provide minimum make up air and show termination of venting. Note: vent termination shall be located minimum 10 feet from Property Lines.
16. Penetrations through fire resistive rated walls or floor ceiling assemblies shall be in accordance with 2013 CRC Sections R302.4, R302.5.
17. All habitable rooms shall provide natural light and ventilation of the following: 8% natural light and 4% natural ventilation. Calculate and clearly show conformance.
18. The proposed storage area is classified as a U Occupancy and shall be separated from the dwelling by a 1 hour fire resistive assembly (walls and floor/ceiling)
19. Clearly show access to proposed storage area and floor area materials.

Department of Public Services – (650) 616-7065

20. The front property line is located 2.0 feet behind the sidewalk at 123 Poplar Avenue. Please also show this 2.0 foot setback on the Plot Plan. No fences, retaining walls, or other permanent structure shall be placed or constructed within 2.0 feet from the back of sidewalk along Poplar Avenue. S.B.M.C. 8.08.010.
21. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all existing and any proposed grading and drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
22. Show on the plans existing and any proposed lateral services for domestic water (including meter size), and sanitary sewer in accordance with the applicable California Building Code 2013.

23. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02, dated January 2016. Older clean outs not meeting current City standards shall be replaced.
24. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property not caused by a City street tree shall be removed and replaced. Show or note on the plans the replacement of any locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010.
25. Prior to final inspection, paint the address number on face of the curb near the driveway approach with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted.
26. Obtain an Encroachment Permit from Public Works Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit. Add this requirement on the plans as a note.
27. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020. Include the attached County Best Management Practices (BMPs) sheet on the plans.
28. Show on plans how storm water will be collected from downspouts and other on-site drainage and disposed of, either into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary.
29. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing water meter is sufficient to serve proposed water demand. If existing meter is undersized a new meter will be required including water and sewer capacity charges based on the size of the new water meter installed along with materials and installation charges for an upgraded water meter. Please indicate on the plans the location and size of the existing water meter and the available water pressure at the property. For additional information, attached are Calculation Procedures and the estimated water pressure available at 100 Poplar Avenue is 75 psi static and at 149 Poplar Avenue is 62 psi static.

Fire Department – (650) 616-7096

30. Address numbers shall be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
31. Provide hardwired smoke alarms with battery backup to all bedrooms and hallways.
32. Provide flame arrester for chimney if not currently in place.
33. Owner will store all waste and recycling containers in a storage area in the garage – such area shall not encroach into the 12'x20' designated parking area.

B. 1111 Montgomery Avenue (APN: 020-115-060)

Request for a Use Permit and an Architectural Review Permit to demolish the detached garage at the rear of the lot and construct a new 1,484 square foot storage building at the rear of the lot that would be used to store contractor materials and include an attached 530 square-foot, two car garage to service the existing single family home that would remain on the site, per Sections 12.96.150.C.d, and 12.108.010.A of the San Bruno Municipal Code. Van Ly (Applicant); Olivia Wing Lum Luo (Owner) AR15-006, UP-16-004

Senior Planner, Michael Smith: Presented Staff Report.

Staff recommends that the Planning Commission approve AR15-006 and UP-16-004, based on Findings 1-8 and subject to Conditions of Approval 1-28.

Questions for Staff

Commissioner Chase: Asked for clarification on the difference between “storage” and “warehouse” with regard to use restrictions as referred to on page 3 of the e-mail.

Senior Planner Smith: The zoning ordinance defines “contractor’s storage” as site for the storage a material for use on off-site projects, as opposed to a warehouse which could leased to multiple tenants for storage or sale of goods. The intent of this project is to provide contractor’s storage.

Commissioner Petersen: Asked for clarification on the wording of conditions 6 and 7.

Senior Planner Smith: Staff will provide revised working for conditions 6 and 7.

Commissioner Mishra: Asked for clarification regarding condition number 9 noting UBC as the applicable building code. Asked about any restrictions on workshop activities. Additionally, he wants to include a condition that auto repair is excluded from the site.

Director Woltering: The condition shall be corrected to note CBC as the applicable building code. Conditions 9 addresses auto repair.

Opened Public Comments

Van Ly (Architect): Appreciates the Commission clarifying some of the items from the Staff Report.

Commissioner Petersen: Asked about the use of video surveillance.

Van Ly (Architect): The client would be agreeable to using video surveillance, but is concerned about privacy rights of neighbors.

Commissioner Chase: Noted that the operating hours seemed long for proposed use.

Opened Public Comments

Sam Laney (1121 Montgomery): Expressed support for project. Noise is not a concern. The property owner have been respectful neighbors. Suggested motion sensor lights for the rear of building. Express concerns about lack of Police patrol in the area.

Commissioner Johnson: Staff will note the details of the concerns and will address the concerns.

Director Woltering: Staff will have Code Enforcement follow up on the illegal dumping and tree issues on site. No work will be conducted on site, only pick-up of stored materials.

Public Comment Closed

Commission Comments

Commissioner Chase: Supports the suggestion for motion sensor lights as he feels they are more of a deterrent to crime than cameras.

Senior Planner Smith: Provided revised language for conditions 6 and 9, and proposed new condition 29 for motion sensor lights.

Motion to approve AR15-006 and UP-16-004, based on Findings 1-8 and subject to Conditions of Approval 1-28 with modified conditions 6 and 9, and an added condition 29 for motion sensor lights in lieu of surveillance cameras.

Commissioner Mishra/Petersen

VOTE: 5-0
AYES: All Commissioners present
NOES: None
ABSTAIN: None

Findings of Fact

- 1. That the location, size and intensity of the proposed operation will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern, taking into account the proposed use as compared with the general character and intensity of the neighborhood.**

The proposed 1,484 square-foot storage building with a 530 square-foot three-car garage, attached to the storage building would replace the existing 400-square foot, two-car detached garage. The operation will include personal storage for building supplies: including lumber cabinets, plumbing and electrical materials, construction equipment such as an excavator and loader for the owner who is a contractor. The hours would be 7 a.m. to 9 p.m. Monday through Saturday, generally not on consecutive days. The site will not be permitted to operate as a staging area for a contractor yard business as there is not adequate parking for additional vehicles and the noise and traffic generated would be in conflict with the residential use. No workers or employees would be allowed to arrive on the site, only the delivery and pick of materials in the storage building. The new garage will accommodate parking for two vehicles for the residence. The new storage building will have one parking space within the structure and one

uncovered parking space on the north side of the building and a trash and recycling enclosure will be located in the rear of the lot. Therefore, staff finds that the approval of the project will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern on vehicular or pedestrian patterns.

- 2. That the accessibility of the off-street parking areas and the relation of parking areas with respect to traffic on adjacent streets will not create a hazardous or inconvenient condition to adjacent or surrounding uses.**

An existing 14'-0" wide driveway off Montgomery Avenue will provide access to the storage building and residential garage to the rear of the residence. A 24'-0" driveway in front of the three car garage will allow turnaround. The site will not be permitted to be used as a staging area for a contractor yard business as there is not adequate parking for additional vehicles and the noise and traffic generated would be in conflict with the residential use. No workers or employees would be allowed to arrive on the site, only the delivery and pick of materials in the storage building. No materials would be allowed to be stored outside of the storage building. The project is located in an industrial area. Therefore, staff finds that there will not create a hazardous or inconvenient condition to adjacent or surrounding uses.

- 3. That sufficient landscape areas have been reserved for the purposes of separating or screening service and storage areas from the street and adjoining building sites, breaking up large expanses of paved areas, and separating or screening parking areas from the street and adjoining building areas from paved areas to provide access from buildings to open areas. In addition, that adequate guarantees are made, such as the filing of a performance bond, to insure maintenance of landscaped areas.**

New landscaping is proposed for the entire site and will amount to 375 square feet, meeting the Municipal Code (Zoning Code section 12.84.180B.1) requirement of 7.5% for the M district. Landscaping planters will be in the front setback and along the north side of the driveway and the side property line. Additional details will be required for the final landscape and irrigation plan for water efficient landscaping. The applicant will be required to install landscape boulders or another barrier in the front yard planter to protect it from vehicles parking in the landscaped area. A condition of approval will require that the landscaping will be required to be maintained in a healthy growing condition for the life of the project.

- 4. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the structure will be constructed according to the California Building Code (CBC) and, therefore, will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

- 5. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)**

The proposed 1,484 square foot storage building and new 530-square foot, two-car garage, attached to the storage building would replace the existing 400-square foot, two-car detached garage. The existing 792 square foot, single family home will remain. The proposed new total area would be a total 2,806 square feet including the garage and the residence with a gross floor

area of 56% where 60% is allowed.

Similar to the adjacent and uses along Montgomery Avenue are both similar scale and intensity industrial and residential uses including storage mechanical and auto body shops. With the staff recommendations incorporated as part of the project plans, the proposal will benefit the City and the surrounding neighborhood by improving the property in a well-designed manner. Therefore, staff finds that the project will not be detrimental to improvement in the neighborhood or to the general welfare of the City.

6. That the proposed development is consistent with the San Bruno General Plan. (SBMC 12.108.050.B.3)

The San Bruno General Plan designates the property as an Industrial district. The storage building and contractor yard use are consistent with the General Plan designation. The existing residential use is considered a legal nonconforming use and no expansion or changes are proposed to the structure. Staff encouraged the applicant to convert the nonconforming residential use to a conforming use, but the applicant desired to continue the residential use with the existing tenant in residence. Nonconforming uses are not allowed to be expanded or changed to a different nonconforming use according to section 12.92.02.A of the Zoning Code.

General Plan Policy LUD-55 states, “Support conversion of remnant residential uses south of Atlantic Avenue to industrial or office uses. Allow assembly of small residential lots that will increase the feasibility of attracting light industrial employers, provide a more compatible industrial setting, and accommodate uses appropriate for 70 db noise levels from SFO overflights.” Since the proposed storage building use is not an expansion or any change to the nonconforming residential use and the owner desired to continue the existing residential use with the existing tenant in residence, staff determined that the nonconforming use can remain. Therefore, the development is considered consistent the San Bruno General Plan.

General Plan Policy LUD-62 states: “Require the installation of landscaping to screen storage yards and other outdoor areas facing public streets in industrial development.”

New landscaping is proposed for the entire site and will amount to 375 square feet, meeting the Municipal Code (Zoning Code section 12.84.180B.1) requirement of 7.5% for the M district. Landscaping will be in the front setback and along the north side of the driveway and the side property line. A trash and recycling enclosure with screening is proposed in the rear of the property so trash will not be visible to the public street and no materials shall be stored outside of the storage building. Therefore, the development is considered consistent the San Bruno General Plan.

7. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (12.108.040.D).

The existing residential use is in conformance with the side and rear setbacks, with exception of the existing front setback is only 7'-6". The new structure will have a zero setback on the rear and south sides and a ten-foot setback on the north side where one uncovered parking space and a trash and recycling enclosure will be located. The residential garage and parking is sited

towards the rear of the lot. The proposed maximum height for the storage building is 24'-6". The existing residence has a maximum height of 11'-6". The maximum height for the district is 35 feet setbacks are not required. Furthermore, there are no adjacent residential uses, therefore, the structure should not unreasonably restrict or interfere with light and air access on the property and on other property in the neighborhood, or hinder appropriate development and use of land and buildings in the neighborhood.

- 8. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G).**

According to the San Bruno Municipal Code Chapter 12.108, an Architectural Review Permit is required for the construction of a new building that is visible from the public right-of-way. The proposed design of the garage portion of the structure is integrated with the architectural character of the existing dwelling. The storage building would have a warehouse character with design elements that are compatible with the existing dwelling. These design elements include the use of stucco and an asphalt shingle parapet roof. Proposed windows will have an industrial character which is more befitting the use of the building. To add architectural interest, formed stucco details are proposed for the sides and rear of the storage building. Colors proposed are a beige stucco body with off-white doors and gray-blue trim. Skylights are proposed for the roof to allow natural light.

With staff recommendations incorporated into the project that the applicant add new landscaping for the entire site, meeting the Municipal Code (Zoning Code section 12.84.180B.1) requirement of 7.5% for the M district. Irrigated landscaping will be in the front setback and along the north side of the driveway and the side property line. A trash and recycling enclosure with screening is required in the rear of the property so trash will not be visible to the public street and no materials shall be stored outside of the storage building. Therefore the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood.

CONDITIONS OF APPROVAL

Community Development Department – (650) 616-7089

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 16-004 and Architectural Review Permit 15-006, shall not be valid for any purpose. Use Permit 16-004 and Architectural Review Permit 15-006 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit and Architectural Review Permit for the construction of a storage building and attached garage shall be built according to plans approved by the

Planning Commission on August 16, 2016, labeled Exhibit C except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.

4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. There shall be no individuals employed on-site. Individuals can assist in the pick-up and delivery of materials stored on-site.
7. At permit submittal, additional details will be required for the final landscape and irrigation plan for water efficient landscaping. The front landscape area will be required to install landscape boulders or another barrier to protect it from vehicles parking in the landscaped area. The landscaping will be required to be maintained in a health growing condition for the life of the project.
8. The proposed storage building shall only be used for contractor storage purposes. No portion of the building shall be rented or converted to habitable living space as defined in the Uniform Building Code. Any attempt to construct habitable living space within the building will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against the property.
9. The designated 530 square foot garage area shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the Uniform Building Code or used for vehicle repair for payment. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage area back into conformance.
10. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning and Building staff to ensure compliance with the conditions of approval during the construction process.
11. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.
12. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.

Department of Public Services – (650) 616-7065

13. The front property line is located 2.0 feet behind the sidewalk at 1111 Montgomery Avenue.

No fences, retaining walls, or other permanent structure shall be placed or constructed within 2.0 feet from the back of sidewalk along 1111 Montgomery Avenue. S.B.M.C. 8.08.010.

14. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all existing and proposed grading and drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
15. Show on the plans flow line diagrams for cold water lines, hot water lines, gas lines, and sanitary sewer lines to include all existing and proposed systems in accordance with the applicable California Building Code 2013.
16. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02, dated June 2015. Older clean outs not meeting current City standards shall be replaced.
17. Planting of one 36-inch box size approved tree or payment to the in-lieu replacement tree fund per most current fee schedule is required. Tree shall be located on 1111 Montgomery Avenue per SBMC 8.24.060. At the current rate, the impact payment required is \$540. A separate tree-planting permit is required from Parks Division for any new street tree.
18. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property shall be removed and replaced. Remove and replace all damaged and/or broken sidewalk at front of property for all locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010.
19. Prior to final inspection, paint the address number on face of the curb near the driveway approach with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted.
20. Obtain an Encroachment Permit from Public Works Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit.
21. An erosion control plan and storm water pollution prevention plan is required. The applicant shall show existing storm drain inlets and other storm water collection locations protected by silt screens or silt fence. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
22. Show on plans how storm water shall be collected from downspouts and other on-site drainage and drained into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary.
23. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for

review.

24. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing ¾-inch water meter is sufficient to serve proposed water demand. If existing meter is undersized a new meter is required. Applicant shall pay water and sewer capacity charges based on the size of the water meter installed along with materials and installation of an upgraded water meter. S.B.M.C. 10.14.020/110. Indicate on the plans the location of the existing water meter and the available water pressure at the property.

Fire Department – (650) 616-7096

- 25. Address numbers to be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
- 26. Provide hard-wired smoke detectors with battery backup as required by building code.
- 27. Provide spark arrester for chimney if not currently in place.
- 28. Fire Sprinklers are required for the addition portion of the project and recommended for the existing portion of the building.

Community Development Department – (650) 616-7089

29. The owner is encouraged to install motion sensor lighting at the back of the building to deter dumping and other illegal activity along Railroad Place.

**C. 73 Scott Street
(APN: 014-276-230)**

Request for a Use Permit to allow a rear single-story addition and a one-story vertical addition that would add a total of 1,326 square feet of living area to the existing single-family dwelling resulting in a building with 2,382 square feet of living area and 2,781 square feet of gross floor area, including the garage. The project requires a use permit because it would increase the size of the building by more than 50%, per Section 12.200.030.B.1 of the San Bruno Municipal Code. Request comes from Ken Ibarra (Applicant) and Praveen Charan (Owner). UP16-012.

Contract Assistant Planner Jones: Presented Staff Report.

Staff recommends that the Planning Commission approve Use Permit 16-012 based on Findings 1-6 and subject to Conditions of Approval 1-28.

Questions for Staff

Commissioner Petersen: Verified with staff that the correct dimension for the garage door width is 16 feet.

Opened Public Hearing

Praveen Charan (Owner): The plans include removing an old parking pad, the provided driveway access to the previous garage location.

Director Woltering: Clarified Mr. Charan's comments for Commissioner Petersen.

Justin Liu (Scott Street): Expressed concerns about parking and tenant situation. Tenants at the residence have not been considerate neighbors.

Commissioner Chase: Asked about how Mr. Liu would best handle the nuisance items.

Director Woltering: This issue falls under police enforcement.

Commissioner Johnson and Mishra: Suggested using this opportunity to exchange contact information in order to create better neighbor relations in the future.

Asha Charan (Owner): They had previously been renting their house. As of October of last year, they are occupying their home.

Closed Public Hearing.

Motion to approve Use Permit 16-012 based on Findings of Fact 1-6 and Conditions of Approval 1-28.

Commissioner Mishra/Chase

VOTE: 5-0
AYES: All Commissioners present
NOES: None
ABSTAIN: None

Findings of Fact

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the home will be constructed according to the California Building Code (CBC) and, therefore, will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

- 2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)**

The applicant is proposing a vertical addition that is well-designed and will have minimal overall impact on adjacent properties. Therefore, staff finds that the project will not be detrimental to improvement in the neighborhood or to the general welfare of the City.

3. That the proposed development is consistent with the San Bruno General Plan. (SBMC 12.108.050.B.3)

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the General Plan designation.

General Plan Policy LUD-3 states, “protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale.” The proposal will be complementary to other single-family homes in the area and reinforces the residential character of the neighborhood.

4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (12.108.040.D).

The project would not unreasonably restrict light and air to adjacent properties. While a second story is being proposed, the adjacent homes are single story with conforming setbacks so privacy shouldn't be a concern. The addition would also respect the existing building's side setbacks. The proposed expansion also meets the floor area, lot coverage, setback, and height requirements of the zoning district. The side and rear setbacks for the proposed addition are all in compliance with the setback requirements. The neighborhood has a variety of building types, ranging from single-story homes to apartment buildings, all with varied architectural elements—therefore, it is consistent with the design and scale of the neighborhood.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G).

The proposed addition would utilize stucco siding and asphalt shingle roofing material, which is consistent with the existing home and the immediate neighborhood. The garage siding will change to stucco to match the dwelling, and the gable roof form matches. The proposed expansion also meets the lot coverage, setback, and height requirements of the zoning district. Therefore, staff finds that the general appearance of the proposed addition will be in keeping with the character of the neighborhood and will not be detrimental to the City.

6. That any proposed single-family or two-family dwelling conform to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.I).

Staff finds that the proposed addition conforms to the basic design principles of the Residential Design Guidelines. The addition is a two-story addition that continues the simple building form of the existing structure and would also incorporate matching exterior materials.

CONDITIONS OF APPROVAL

Community Development Department – (650) 616-7089

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 16-011 shall not be valid for any purpose. Use Permit 16-011 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit for an addition shall be built according to plans approved by the Planning Commission on August 16, 2016, labeled Exhibit C except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The residence shall be used only as a single-family residential dwelling unit. No portion of the residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
7. The designated 250 square foot garage area shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the Uniform Building Code. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage area back into conformance.
8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning and Building staff to ensure compliance with the conditions of approval during the construction process.
9. Prior to Final Inspection, 20% of the site shall be landscaped to the satisfaction of the Community Development Director. No more than 80% of the lot shall consist of impervious surface.
10. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.

11. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.
12. Comply with the 2013 California Codes, including the California Residential Code.
13. Indicate on the plans that the area to the right of the driveway in the rear yard is currently pervious surface, but it will be paved to meet the driveway requirement, ensuring access for two vehicles into the garage. Ensure that the clothes drying structure in the yard is moved to accommodate a free-and-clear pathway for the vehicle.
14. Clearly demonstrate that the edge of the garage building is at least 6'-0" from the back edge of the porch, per SBMC 12.84.140.

Public Services Department – (650) 616-7065

15. The front property line is located 2.0 feet behind the sidewalk at 73 Scott Street. Please also show this 2.0 foot setback on the Plot Plan. No fences, retaining walls, or other permanent structure shall be placed or constructed within 2.0 feet from the back of sidewalk along Scott Street. S.B.M.C. 8.08.010.
16. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all existing and any proposed grading and drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
17. Show on the plans existing and any proposed lateral services for domestic water (including meter size), and sanitary sewer in accordance with the applicable California Building Code 2013.
18. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02, dated January 2016. Older clean outs not meeting current City standards shall be replaced.
19. Planting of one 36-inch box size approved tree or payment to the in-lieu replacement tree fund per most current fee schedule is required. Tree shall be located on Scott Street per SBMC 8.24.060. At the current rate, the impact payment required is \$540. A separate tree-planting permit is required from Parks Division for any new street tree.
20. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property not caused by a City street tree shall be removed and replaced. Show or note on the plans the replacement of any locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010.
21. Obtain an Encroachment Permit from Public Works Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit. Add this requirement on the plans as a note.

22. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020. Include the attached County Best Management Practices (BMPs) sheet on the plans.
23. Show on plans how storm water will be collected from downspouts and other on-site drainage and disposed of, either into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary.
24. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for review.
25. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing water meter is sufficient to serve proposed water demand. If existing meter is undersized a new meter will be required including water and sewer capacity charges based on the size of the new water meter installed along with materials and installation charges for an upgraded water meter. Please indicate on the plans the location and size of the existing water meter and the available water pressure at the property. For additional information, attached are Calculation Procedures and the estimated water pressure available near the property is 89 psi static and 86 psi residual.

Fire Department – 650-616-7096

26. Address numbers to be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
27. Provide hard-wired smoke detectors with battery backup as required by building code.
28. Provide spark arrester for chimney if not currently in place.

D. Affordable Housing Ordinance and Impact Fees (City-wide)

Receive report, provide feedback to staff and take public testimony on Residential Impact Fee and Commercial Linkage Fee Nexus Studies demonstrating the impact of new housing or jobs on the need for affordable housing in San Bruno and proposing permissible and reasonable fee levels, and make a recommendation to the City Council regarding adoption of an affordable housing ordinance to replace Chapter 12.230 of the San Bruno Municipal Code and impact fees

Long Range Planning Manager Sullivan: Presented Staff Report.

Questions for Staff

Commissioner Mishra: Concerned that if the intent of ordinance is to build more affordable housing, the housing impact fee shouldn't be on the lower end of the range, it should be as high as the market will allow so that developers would have more incentive to include affordable housing units within their projects. Further, "zones" of low income housing should be avoided.

Long Range Planning Manager Sullivan: The Nexus study calculated the maximum justifiable fee. A project must be economically feasible for a developer to proceed. The fee should be enough to help meet the need but not too much to discourage development in the City.

Community Development Direct Woltering. The City can require construction of affordable units in for-sale housing developments. The intent is to include and scatter affordable units within individual projects, not cluster in one area. Since the Palmer court decision invalidated the City's current affordable housing requirements for rental housing, this proposed ordinance restores the City's ability to charge housing impact fees on rental housing projects.

Commissioner Johnson: Asked staff to address the pro and cons of having higher impact fees.

Long Range Planning Manager Sullivan: Projects may become economically infeasible if the fee is too high and could potentially deter development.

Commissioner Petersen: Asked if the report considers what the effects of the recommended fees are on the City, by comparison to other nearby cities. He would support lower impact fees, because they would be passed on to the consumer, and consider increasing the fee in the future. He is concerned that having higher impact fees would drive away developers, at which point it would be difficult to get them back.

Commissioner Johnson: Supports Commissioner Petersen's comments, because when a fee is raised, someone absorbs it in the end – typically the consumer. Commissioner Johnson stated that Commissioner Chase was not feeling well and left the meeting early. She read a note from Commissioner Chase stating that he is in support of recommending to the City Council adoption of the ordinance and recommended fees.

Director Woltering: The next steps would be for the City Council to receive the Commission's recommendation for adoption of this program and fees.

Commissioner Petersen: Developers are not opposed to impact fees as long as they are reasonable and they are aware of them in advance.

Long Range Planning Manager Sullivan: The housing impact fees being proposed are roughly equivalent to the City's existing below market rate (BMR) ordinance fees already established. The commercial fee proposed at \$5 per square foot is at the low end of the range for the area.

Public Comment - None

Motion to adopt resolution 2016-10 to forward to City Council

Commissioners Petersen/Mishra

Roll Call Vote: 4-0

AYES:	Commissioners Sammut, Johnson, Mishra, and Petersen
NOES:	None
ABSTAIN:	None

Commissioner Chase left excused himself at 8:20 pm

6. DISCUSSION

A. CITY STAFF DISCUSSION:

Director Woltering: Staff is requesting volunteers for the September ARC meeting – Commissioners Chase, Johnson, and Biasotti identified.

B. PLANNING COMMISSION DISCUSSION:

Commissioner Petersen: Asked for a status of The Plaza at 406-418 San Mateo Avenue. Will there be a provision in the permit for setting benchmarks at neighboring properties to monitor the elevations.

Director Woltering: Staff is working with the applicant's representative for issuance of the Shoring and De-watering permit. Staff anticipates issuing that permit by the end of the month. Staff is working on a traffic control plan and pedestrian safety around that site. There will be benchmarks established on specified adjoining properties.

8. ADJOURNMENT

Meeting was adjourned at 9:43 pm

David Woltering
Secretary to the Planning Commission
City of San Bruno

Rick Biasotti, Chair
Planning Commission
City of San Bruno

NEXT MEETING: September 20, 2016



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David Woltering, AICP, *Community Development Director*
 Mark Sullivan, AICP, *Long Range Planning Manager*
 Michael Smith, *Senior Planner*
 Matt Neuebaumer, *Associate Planner*
 Megan Wooley-Ousdahl, AICP, *Associate Planner*
 Matt Jones, *Contract Assistant Planner*
 Marc Zafferano, *City Attorney*

PLANNING COMMISSION

Rick Biasotti, *Chair*
 Marie Kayal, *Vice Chair*
 Kevin Chase
 Mary Lou Johnson
 Sujendra Mishra
 Perry Petersen
 Joe Sammut

**PLANNING COMMISSION
 STAFF REPORT
 AGENDA ITEM NO. 5.B
 September 20, 2016**

Project Address: 811 Reid Avenue
Assessor's Parcel No: 020-094-070
Application No.: UP-16-015
Zoning District: R-1 (Single-Family Residential)
General Plan Classification: Low Density Residential
Prepared by: Matt Neuebaumer, 650-616-7042

REQUEST

Request for a Use Permit to allow the construction of a 768 square foot addition which increases the gross floor area of the existing home by greater than 50% (62%), per Section 12.200.030.B.1 of the San Bruno Municipal Code. Steven C. Randel (Applicant); Mark Calonico (Owner).

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit 16-015, based on Findings 1-6 and Conditions of Approval 1-26.

PROJECT DESCRIPTION

The applicant is proposing to construct a ground floor addition at the rear of an existing one-story single-family home. The first floor would be expanded to the rear of the existing home by 786 square feet and would include a new family room, kitchen, a master bedroom, and a new bathroom. The proposed family room would incorporate a vaulted ceiling, which corresponds to a ceiling height of approximately 12'-0". The existing dining room and kitchen would be demolished and rebuilt to accommodate the proposed addition. The existing garage would also increase in size by approximately 11 square feet. The proposed addition would utilize exterior materials that would match the existing home, including horizontal siding, a stucco finish, and an asphalt shingle roof. If approved and constructed, this would be a three bedroom, two bathroom home, with 1,743 square feet of living area and a 273 square foot one-car garage.

ARCHITECTURAL REVIEW COMMITTEE

The Architectural Review Committee (Biasotti and Johnson) reviewed the project at its August 11, 2016 meeting. The Architectural Review Committee forwarded the project to the Planning Commission with the following staff recommendations:

Site Recommendations:

- In the front yard, replace the existing lawn with drought tolerant landscaping.

Update the submittal to include the following:

- Include a note on the plans specifying proposed window trim material. Staff recommends the incorporation of wood window trim throughout all proposed exterior elevations.
- Include a note on the plans specifying the proposed material of the transition trim located above the horizontal base.
- Make the following changes to the project data chart:
 - Include the existing shed in the lot coverage calculation.
 - Specify that the garage will be increasing in size by 11 square feet.
- Make the following changes to the plan submittal on page 2.0 and page 2.1:
 - Change "(E) Bedroom #3" to "(E) Bedroom #2"
 - Change "(E) Bath #2" to "(E) Bath #1"
 - Change "(E) 2 Car Garage" to "(E) 1 Car Garage"
- Relocate the existing garden shed outside of the 5'-0" Public Utility Easement. .

The applicant submitted revised plans addressing the majority of the items referenced above. However, the applicant does not agree with Architectural Review Committee and staff's recommendation to incorporate wood window trim on all exterior elevations. Therefore, the elevations were not updated to include wood window trim for the proposed windows.

ENVIRONMENTAL REVIEW

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301.e: Existing Facilities.

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on September 9, 2016.
2. Advertisement published in the San Mateo Daily Journal, Saturday, September 10, 2016

PUBLIC COMMENT

No comments have been received as of the completion of this staff report.

REVIEWING AGENCIES

Community Development Department
Public Services Department
Fire Department

EXISTING CONDITIONS

The subject property is located on the south side of Reid Avenue between Kains Avenue and Angus Avenue West. This is a rectangular shaped lot with a total size of 5,200 square feet. The property is currently developed with a one-story single-family dwelling consisting of 986 square feet of living space, which includes two bedrooms, one bathroom, a living room, dining room, kitchen, plus an attached 262 square foot one-car garage. The home was constructed in 1941 and is located in the Mills Park subdivision. Immediately adjacent to the subject property are single-family dwellings.

ADDITIONAL INFORMATION

- **Accessory Structures:** There is one detached accessory structure located in the rear yard.
- **Code Enforcement:** There are no active Code Enforcement cases.
- **Easements:** There is a 5'-0" Public Utility Easement located along the rear property line.
- **Heritage Trees:** There are no heritage trees located on-site.
- **Previous additions or alterations:** There have been no previous additions or alterations to the subject property.

SURROUNDING LAND USES

North: Kains Avenue – R-1 (Single Family Residential)
 South: Angus Avenue West – R-1 (Single Family Residential)
 East: Linden Avenue – R-1 (Single Family Residential); C (General Commercial)
 West: Elm Avenue – R-1 (Single Family Residential)

PROJECT DETAILS SUMMARY

SITE CONDITIONS		ZONING REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS
Land Use		R-1	R-1	R-1
Lot Area		5,200 s.f.	5,200 s.f.	5,200 s.f.
Lot Coverage		2,288 s.f. (44%)	1,344 s.f. (26%)	2,112 s.f. (41%)
Gross Floor Area		2,860 s.f.	1,248 s.f.	2,016 s.f.
Floor Area Ratio		.55	.24	.39
Building Setbacks	Front	15'-0"	22'-1 ½"	22'-1 ½"
	Rear	10'-0"	42'-4"	20'-10"
	R Side	5'-0"	7'-10"	5'-0"
	L Side	5'-0"	6'-0"	5'-0"
Building Height		28'-0"	17'-8"	20'-4"
Covered Parking		2 spaces	1 space	1 space

Square Footage Breakdown:

	Ground floor	Second Floor	Garage	Total
Existing	986	-	262	1,248
Proposed	768 (11 s.f.) of (E) living space converted to garage space	-	11 s.f. of (E) living space converted to garage	768
Total	1,743	-	273	2,016

STAFF'S PROJECT ANALYSIS

The applicant is proposing to construct a 768 square foot ground floor addition to the rear of the existing home. A Use Permit is required because the gross floor area of the existing home will increase by greater than 50% (62%). The proposed expansion meets the floor area, lot coverage, setback, and height requirements of the R-1 zoning district. Specifically, the proposed floor area amounts to 2,016 square feet, which corresponds to a .39 FAR. The height would increase to 20'-4", where 28'-0" is allowed. The side and rear setbacks of the proposed addition are all in compliance with the setback requirements.

Staff finds that the addition is consistent with the design and scale of the other homes in the neighborhood and is consistent with the Residential Design Guidelines. The proposed expansion incorporates a cross gable roof and a vaulted ceiling for the family room. The vaulted ceiling would measure approximately 12'-0" in total height. The cross gable roof and vaulted ceiling would also create unfinished attic space, which would measure less than 7'-0" in total height. While the addition is primarily located to the rear of the existing home, a small portion of the cross gable roof would be visible from the street, as it would extend approximately 2'-6" above the existing roof ridge. This is a common characteristic in the immediate neighborhood.

Fiber cement horizontal siding is proposed along the base of the addition, which would measure approximately 3'-0" in total height. A lightly textured stucco finish is proposed just above the fiber cement base. A trim piece would be installed just above the fiber cement base, thereby providing a transition between the stucco finish and the fiber cement base. Along the rear elevation, the gable end would incorporate reclaimed wood siding from the existing home. The proposed exterior finishes are consistent with the existing home and the greater neighborhood.

Regarding parking, the current one-car garage is adequate as the proposed living area of 1,743 square feet is less than the 1,825 square foot threshold for requiring a second covered parking space. A vehicle can also park in the driveway without impacting the public right-of-way, as the distance between the face of the garage and back edge of the sidewalk measures approximately 33'-6". Additionally, the existing garage would increase in size by approximately 11 square feet. The new garage space would allow the existing washer and dryer to be relocated, thereby freeing up additional garage space to accommodate a vehicle.

FINDINGS

*Pursuant to the City's Municipal Code, the Commission shall grant the Use Permit if it makes the following findings. Required findings are in **bold** followed by staff's analysis of the merits of the project and how the findings can be made.*

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the home will be constructed according to the California Building Code (CBC) and, therefore, will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)

The applicant is proposing a ground floor addition that is well-designed and will have minimal overall impact on adjacent properties. Therefore, staff finds that the project will not be detrimental to property and improvement in the neighborhood or to the general welfare of the City. Regarding parking, the current one-car garage is adequate as the proposed living area of 1,743 square feet is less than the 1,825 square foot threshold for requiring a second covered parking space.

3. That the proposed development is consistent with the San Bruno General Plan. (SBMC 12.108.050.B.3)

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the General Plan designation.

General Plan Policy LUD-3 states, "protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale." The proposal will be complementary to other single-family homes in the area. The design of the project reinforces the residential character of the neighborhood.

4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (12.108.040.D).

The proposal includes a ground floor addition at the rear of an existing one-story single-family dwelling. The overall design and scale is consistent with the neighborhood, which consists of single-family homes. The height of the home would increase to 20'-4", which is less than the 28'-0" height limit of the R-1 zone. The proposed expansion also meets the floor area, lot coverage, and setback requirements of the zoning district, therefore, the structure would not unreasonably restrict or interfere with light and air on the adjacent properties.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G).

The addition would incorporate horizontal siding and a stucco finish, which is consistent with the homes in the immediate neighborhood. The proposed expansion also meets the floor area, lot coverage, setback, and height requirements of the zoning district. Therefore, staff finds that the general appearance of the proposed addition will be in keeping with the character of the neighborhood and will not be detrimental to the City.

6. That any proposed single-family or two-family dwelling conform to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.I).

Staff finds that the proposed addition conforms to the basic design principles of the Residential Design Guidelines. The addition incorporates a cross gable roof design that blends in well with the existing home and is consistent with the overall neighborhood. The addition also incorporates exterior materials that match the existing home and the surrounding homes in the immediate area. Regarding landscaping, the applicant is proposing drought tolerant landscaping in the front yard area. A condition of approval was included requiring that a landscaping/planting plan be submitted at the time of building permit submittal specifying the type of drought tolerant landscaping proposed in the front yard area.

CONDITIONS OF APPROVAL

Community Development Department – (650) 616-7089

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 16-015 shall not be valid for any purpose. Use Permit 16-015 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit for an addition shall be built according to plans approved by the Planning Commission on September 20, 2016 labeled Exhibit C except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The residence shall be used only as a single-family residential dwelling unit. No portion of the residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the California Building Code. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this condition is

grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage area back into conformance.

8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning and Building staff to ensure compliance with the conditions of approval during the construction process.
9. Prior to Final Inspection, the site shall be landscaped according to the plans approved by the Planning Commission on September 20, 2016 and any site landscaping damaged during construction shall be replanted to the satisfaction of the Community Development Director. A complete landscaping plan/planting plan shall be submitted at the time of building permit submittal specifying the type of drought tolerant landscaping proposed in the front yard area.
10. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.
11. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.
12. Comply with the 2013 California Building Codes, including the California Residential Code.

Public Services Department – (650) 616-7065

13. The front property line is located 5.5 feet behind the sidewalk on Reid Avenue. No fences, retaining walls, or other permanent structure shall be placed or constructed within this 5.5 foot area. S.B.M.C. 8.08.010.
14. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all existing and any proposed grading and drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
15. Show on the plans existing and any proposed lateral services for domestic water (including meter size), and sanitary sewer in accordance with the applicable California Building Code 2013.
16. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02. Older clean outs not meeting current City standards shall be replaced.
17. Planting of one 36-inch box size approved tree or payment to the in-lieu replacement tree fund per most current fee schedule is required. Tree shall be located on Reid Avenue per SBMC 8.24.060. At the current rate, the impact payment required is \$540. A separate tree-planting permit is required from Parks Division for any new street tree.
18. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property not caused by a City street tree shall be removed and replaced. Show or note on the plans the

replacement of any locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010.

19. Obtain an Encroachment Permit from Public Services Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit.
20. The work shall conform to the current NPDES stormwater pollution prevention requirements. S.B.M.C. 12.16.020.
21. Show on plans how stormwater will be collected from downspouts and other on-site drainage and disposed of, either into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from stormwater. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary.
22. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for review.
23. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing water meter is sufficient to serve proposed water demand. If existing meter is undersized a new meter will be required including water and sewer capacity charges based on the size of the new water meter installed along with materials and installation charges for an upgraded water meter. Please indicate on the plans the location and size of the existing water meter and the available water pressure at the property. The estimated water pressure available at the fire hydrant near the property is 76 psi static.

Fire Department – 650-616-7096

24. Address numbers to be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
25. Provide hard-wired smoke detectors with battery backup as required by building code.
26. Provide spark arrester for chimney if not currently in place.

Date of Preparation: September 16, 2016
Prepared by: Matt Neuebaumer, Associate Planner

EXHIBITS

- A:** Site Location
- B:** Photographs
- C:** Site Plan, Floor Plans, and Elevations
- D:** Green Building Statement



**811 Reid Avenue
020-094-070
UP-16-015**

Exhibit A: Site Location

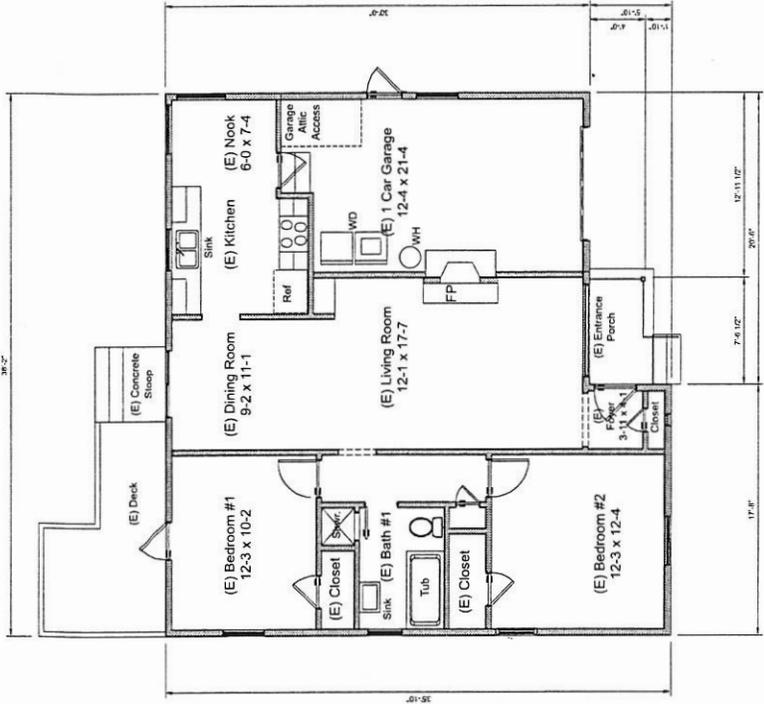


Subject Site

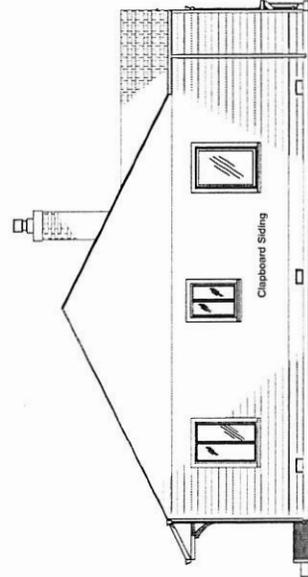


Neighboring Properties

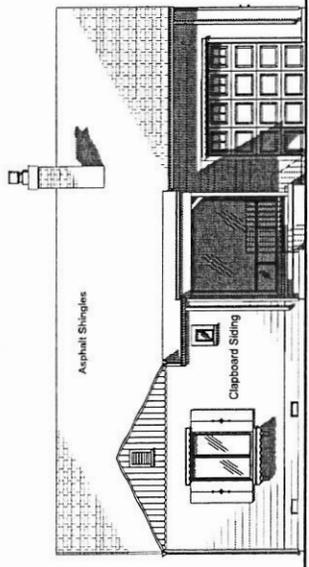
Exhibit B: Photographs



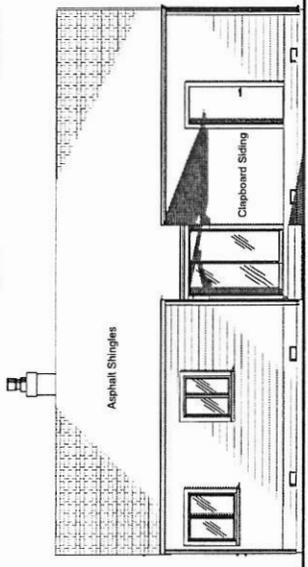
Existing Floor Plan



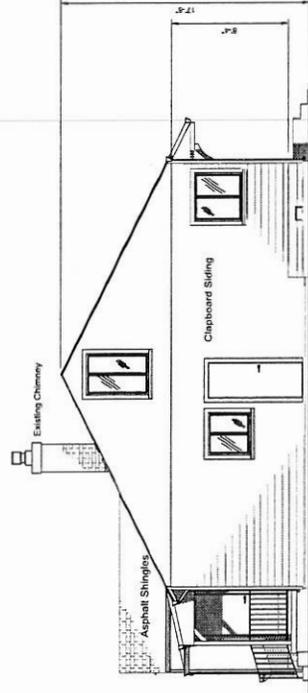
Left Side Elevation NE



Front Elevation NW

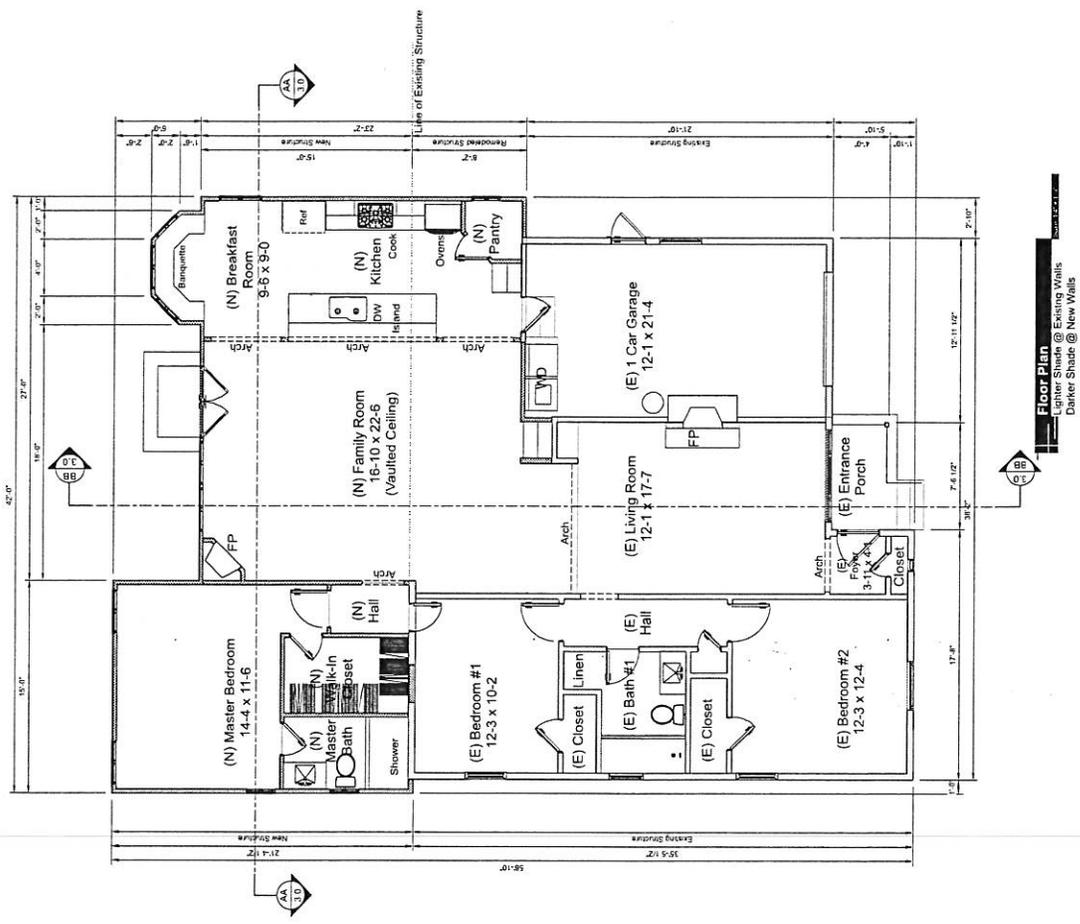


Rear Elevation SE

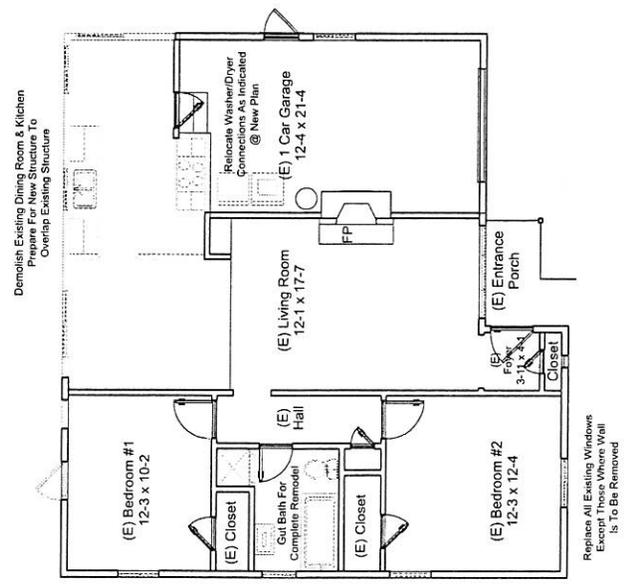


Right Side Elevation SW

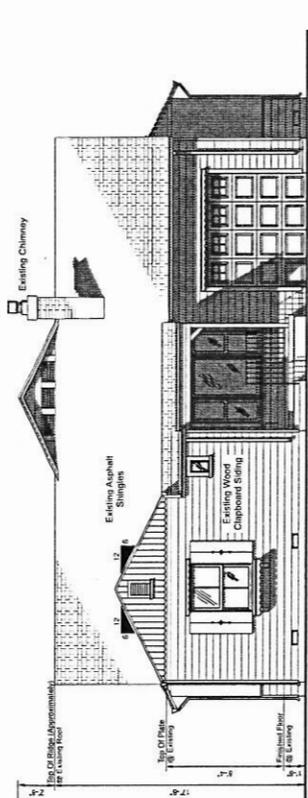
Existing Plans



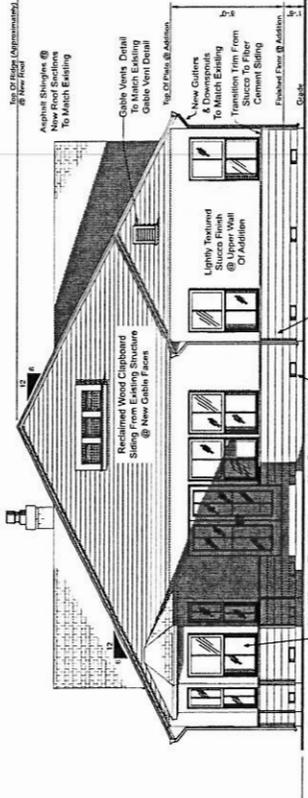
Floor Plan
Lighter Shade @ Existing Walls
Darker Shade @ New Walls



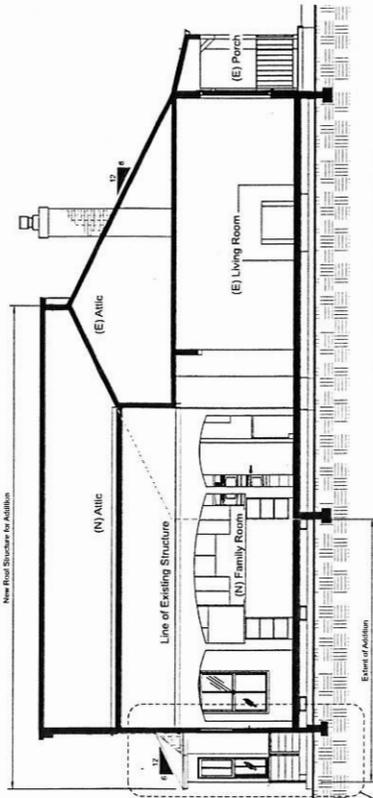
Demolition Plan



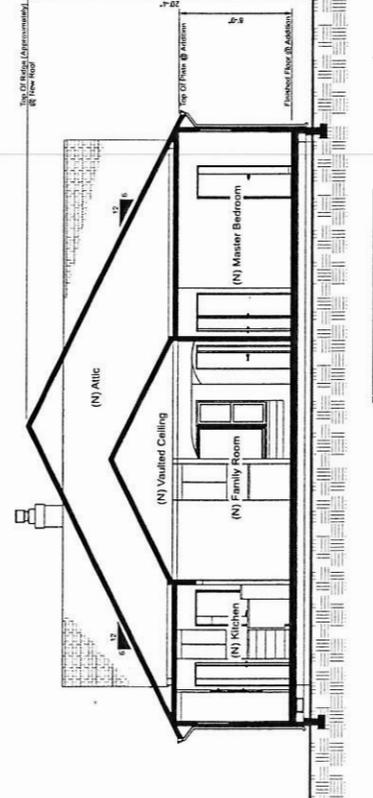
Rear Elevation SE



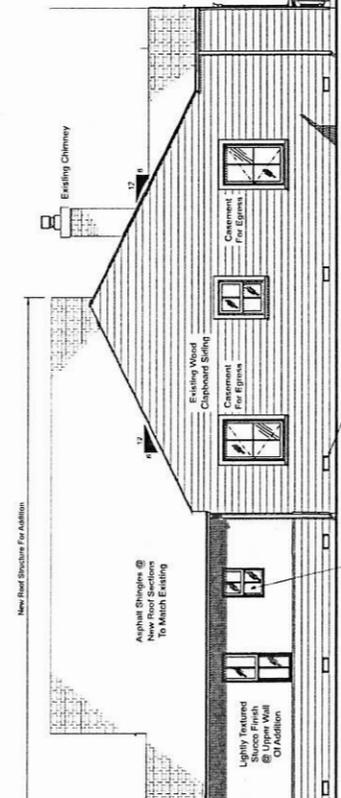
Front Elevation NW



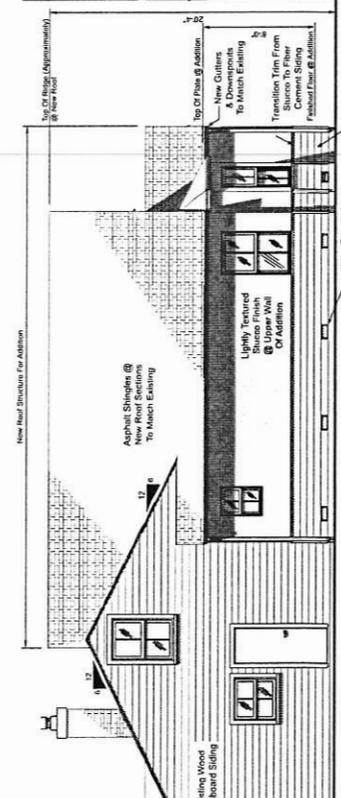
Building Section A-A



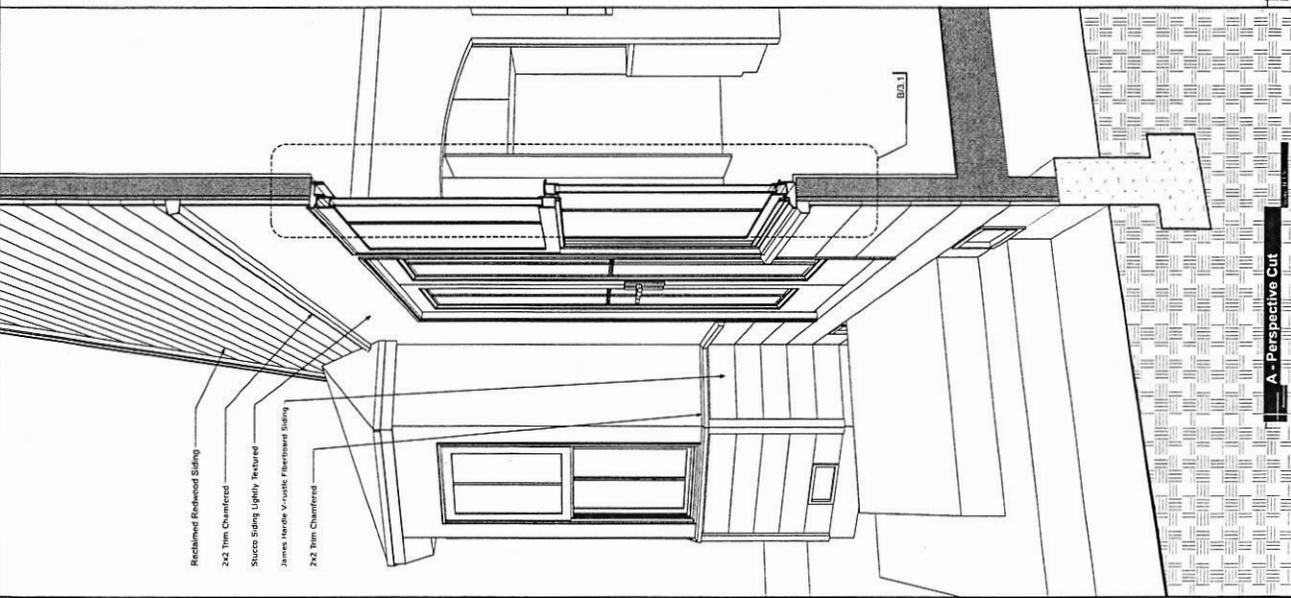
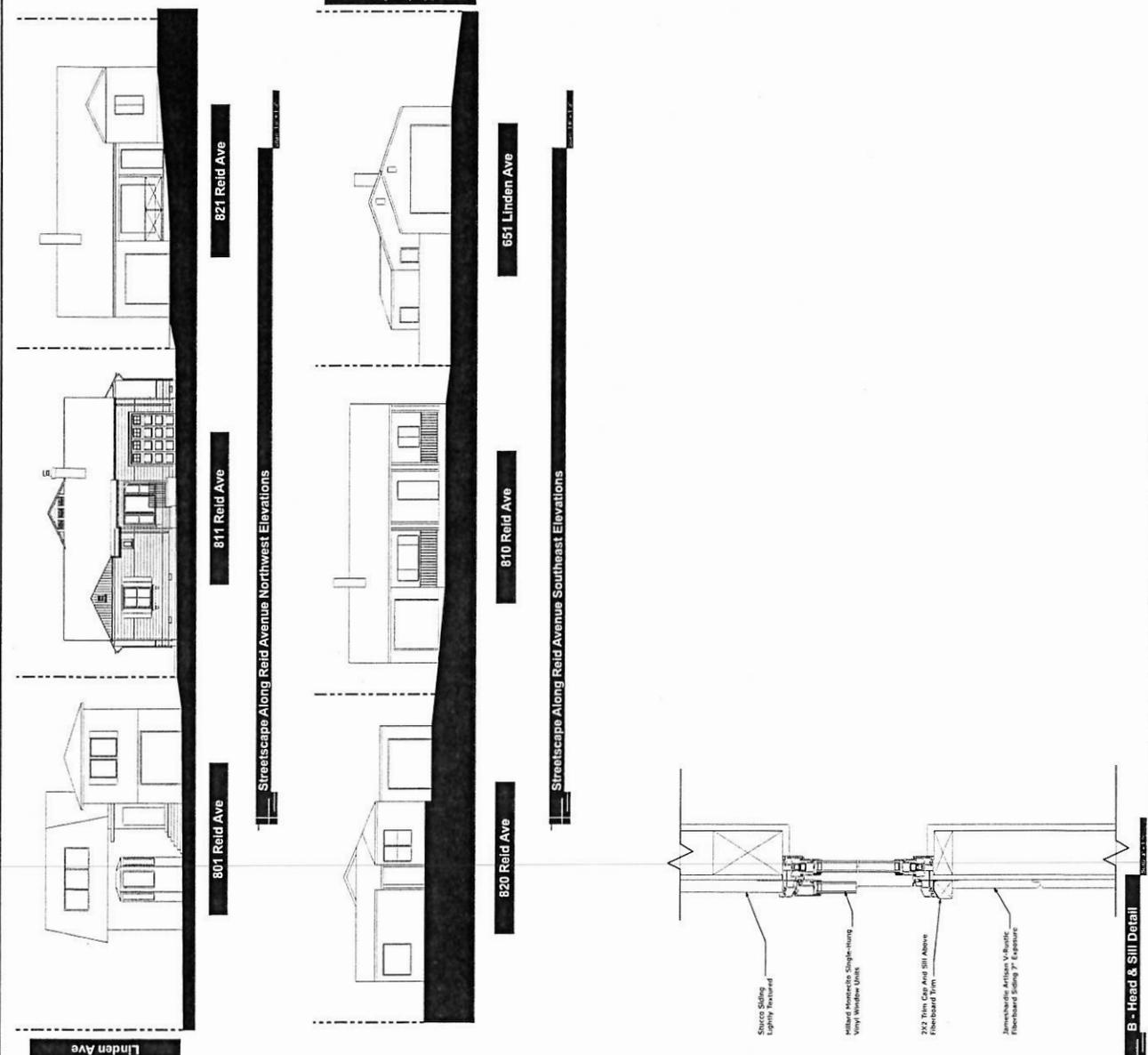
Building Section B-B



Right Side Elevation SW



Left Side Elevation NE



A - Perspective Cut

B - Head & Sill Detail

Steven C Randel
Randel Architecture, Inc.
1001 Bayhill Drive, Suite 200
San Bruno, CA 94066
(415) 336-3255

14 June 2016

City of San Bruno Planning Department
567 El Camino Real
San Bruno, CA 94066

RE: 811 Reid Ave, Conditional Use Permit Application

Green Building Measures Proposed

Water Conservation – All plumbing will be remodeled or new and will comply with the latest standards including low water consumption toilets, low flowing faucets and showerheads, complying with CGC.

Construction Waste Reduction and Recycling – Exterior redwood siding to be removed from the rear the residence will be repurposed for the gable face of the new addition to the extent possible depending on the condition of the existing material. Other construction material removed will be sent to recycling facilities wherever possible.

Pollutant Controls – In compliance with CGC, all paint, caulk, sealant and adhesives will meet low VOC limits. New carpet will also meet CGC restrictions. New exterior fiberboard siding will comply with low formaldehyde emissions standards.

Interior Moisture Control – Moisture content of wood building components will not exceed 19% upon installation.

Indoor Air Quality – Exhaust fans will be provided in remodeled and new baths that comply with Energy Star and CGC.

Environmental Comfort – Heating and air conditioning installed will be specified by an energy consultant and comply with CGC.

Sincerely,

Steven C Randel

EXHIBIT D



567 El Camino Real
San Bruno, CA 94066
Voice: (650) 616-7074
Fax: (650) 873-6749
www.sanbruno.ca.gov

STAFF

David Woltering, AICP, *Community Development Director*
Mark Sullivan, AICP, *Long Range Planning Manager*
Michael Smith, *Senior Planner*
Matt Neuebaumer, *Associate Planner*
Megan Wooley-Ousdahl, AICP, *Associate Planner*
Matt Jones, *Contract Assistant Planner*
Marc Zafferano, *City Attorney*

PLANNING COMMISSION

Rick Biasotti, *Chair*
Marie Kayal, *Vice Chair*
Kevin Chase
Mary Lou Johnson
Sujendra Mishra
Perry Petersen
Joe Sammut

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. 5.C.
September 20, 2016**

Project Address: 718 Cypress Avenue
Assessor's Parcel No: 020-054-120
Application No.: UP-16-014
Zoning District: R-1 (Single-Family Residential)
General Plan Classification: Low Density Residential
Prepared by: Matt Jones, 650-616-7089

REQUEST

Request for a Use Permit to allow the construction of a second-story addition that would add 404 square feet of living area to the existing single-family home. Use permit authorization is required because the proposed living area (2,051 square feet) would exceed the maximum 1,825 square feet of living area allowed for a one-car garage, the addition would result in a cumulative increase in gross floor area by greater than 50% (66%), and to allow a second-story deck facing an interior side yard adjacent to an abutting property which has a side yard greater than ten feet, per Sections 12.200.060.C, 12.200.030.B.1 and B.5, 12.200.080.A.2, and 12.200.040.B.1 of the San Bruno Municipal Code. Paul Nii (Applicant); Michael Fellion (Owner).

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit 16-014, based on Findings 1-6 and subject to conditions of approval 1-28.

PROJECT DESCRIPTION

The applicant is proposing a 404 square foot, second-story addition and 116 square foot deck to the rear of the home. The ground floor changes would include a relocated fireplace and closet, removal of bar and sink, and a double door added to the rear. The proposed second-story addition would add a master bedroom and bathroom along with a rear deck and finish material would match the existing home's exterior finish. If approved and constructed, the residence would become a four bedroom, two-and-a-half bathroom structure with a total floor area of 2,051 square feet of habitable area, not including the garage.

ARCHITECTURAL REVIEW COMMITTEE

The Architectural Review Committee (Biasotti, Johnson) reviewed the project at its August 11, 2016 meeting. The Architectural Review Committee forwarded the project to the Planning Commission with the recommendations below. Recommendations 1-5 have been satisfied.

1. Change the roof style of the proposed second-story addition to a hipped roof.
 - o Note: at the ARC hearing, the applicant and staff agreed to work on a compromise that incorporated a hip and gable combination roof.
2. Scale back the width of the balcony by at least 10 feet back from the adjacent property to the south (right).
3. Switch “translucent” windows to “obscured” on the plans.
4. Add one or more visual relief elements to the north (left) end of the addition.
5. Minimize the prominence of the garage door.

ENVIRONMENTAL REVIEW

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301.e: Existing Facilities.

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on September 12, 2016.
2. Advertisement published in the San Mateo Daily Journal, Saturday, September 10, 2016.

PUBLIC COMMENT

Staff received one comment in response to the Architectural Review Committee notice, after the hearing took place. The citizen had a question about development standards and staff described the conditional use permit process, and that these types of projects can be approved subject to findings.

REVIEWING AGENCIES

Community Development Department
Public Services Department
Fire Department

EXISTING CONDITIONS

The subject property is located on Cypress Avenue between Sycamore Avenue and Kains Avenue. The subject lot is a standard size measuring 5,000 square feet. The property is currently developed with a one-story single-family dwelling that contains three bedrooms and one-and-a-half bathrooms in 1,647 square feet of living space. The residence includes a 246 square-foot garage at the ground floor for a total gross floor area of 1,893 square feet. The home was constructed in 1948 and is located in the Mills Park 3 subdivision. Immediately adjacent to the subject property are single-family dwellings.

ADDITIONAL INFORMATION

- **Accessory Structures:** There are no accessory structures located on the subject property.
- **Code Enforcement:** There are no active Code Enforcement cases.
- **Easements:** There is a 5'-0" easement at the rear of the property.
- **Heritage Trees:** There are no heritage trees located on-site.
- **Previous additions or alterations:** The existing owners added the rear 508 square foot single-story family room addition in 2006. This 2006 addition, combined with the proposed addition, total 912 square feet, increase of 66% more than the original gross floor area of 1,385 square feet.

SURROUNDING LAND USES

North: Sycamore Avenue – R-1 (Single Family Residential)
 South: Kains Avenue – R-1 (Single Family Residential)
 East: Magnolia Avenue – R-1 (Single Family Residential)
 West: Olive Court – R-1 (Single Family Residential)

PROJECT DETAILS SUMMARY

SITE CONDITIONS		ZONING REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS
Land Use		R-1	R-1	R-1
Lot Area		5,000 s.f.	5,000 s.f.	5,000 s.f.
Lot Coverage		2,200 s.f. (44%)	1,893 s.f. (37.9%)	2,044 s.f. (40.9%)
Gross Floor Area		2,750 s.f.*	1,893 s.f.	2,297 s.f.
Floor Area Ratio		.55	.38	.46
Building Setbacks	Front	15'-0"	21'-0"	21'-0"
	Rear	10'-0"	22'-9" (house)	22'-9" (house) 18'-0" (deck)
	R Side	5'-0"	5'-0"	5'-0"
	L Side	5'-0"	5'-0"	5'-0"
Building Height		28'-0"	18'-1"	24'-9"
Covered Parking		2 spaces	1 space	1 space

Notes:

*See Chart 1 in Section 12.96.060 of the SBMC for the floor area ratio adjustment factor for lot size.

**Max. FAR = Lot size X adjustment factor X ratio

Square Footage Breakdown:

	Ground floor	Second Floor	Garage	Total
Existing	1,647	-	246	1,893
Additions	-	404	-	404
Total	1,647	404	246	2,297

STAFF'S PROJECT ANALYSIS

A Use Permit is required because the applicant is proposing to expand their living area to 2,051 square feet, which exceeds the maximum square footage (1,825 square feet) allowed for a one-car garage, per Section 12.200.030.B.5 and 12.200.080.A.2 of the San Bruno Municipal Code. Additionally, the applicant is proposing a cumulative increase in gross floor area by greater than 50% (66%, including the 2006 addition). Lastly, the applicant is proposing a second-story deck facing an interior side yard adjacent to an abutting property which has a side yard greater than ten feet. The proposal would otherwise meet the lot coverage, setback, floor area ratio, and height requirements of the zoning district.

The proposed rear second-story 404 square foot addition is for a master bedroom and bathroom, bringing the total count to four bedrooms and two-and-a-half bathrooms. A second-story deck would be added to the rear of the addition.

Staff finds that the project would need revisions to conform to the Residential Design Guidelines. The addition, as currently proposed, would not integrate well with the existing single-family dwelling and would not be compatible with the immediate neighborhood, which is characterized by single-family homes that have hipped roofs.

The project designer met with staff after the ARC meeting to discuss more appropriate roof options for the addition but submitted the proposed roof design for staff consideration after speaking with his client. Staff finds that the proposed roofing style of the addition—a combination hip and gable style roof, with a hip-style front elevation—is consistent with the surrounding neighborhood, which is largely characterized by hipped roof homes. Additionally, staff has not received any comments from the public in opposition to the design.

The second-story addition's primary purpose is to add a master bedroom and bathroom along with a rear-facing deck. Staff found no issues with the proposed expansion of living area as the total count of four bedrooms and two-and-a-half bathrooms should be sufficient for a one-car garage. There is a curb cut running the width of the driveway—approximately 17 feet—which could potentially allow 2 smaller cars to park. The addition would not be expected to result in additional occupants which is generally associated with greater parking demand. Additionally, the neighborhood has greater street parking relative to other neighborhoods in the City. Therefore, due to the factors listed above, the project should not affect parking within the neighborhood.

FINDINGS

*Pursuant to the City's Municipal Code, the Commission shall grant the Use Permit if it makes the following findings. Required findings are in **bold** followed by staff's analysis of the merits of the project and how the findings can be made.*

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the home will be constructed according to the California Building Code (CBC) and, therefore, will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

- 2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)**

The applicant is proposing a second-story addition located at the rear of the building. With the adjusted location of the louvered deck set back 10 feet from the south-facing first-story wall, staff finds that the project will not be detrimental to improvement in the neighborhood or to the general welfare of the City.

3. That the proposed development is consistent with the San Bruno General Plan. (SBMC 12.108.050.B.3)

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the General Plan designation.

General Plan Policy LUD-3 states, “protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale.” As proposed, the addition would impact the character of the neighborhood by introducing an uncharacteristic combination hip and gable roof style that is spatially disconnected from the existing hipped roof with a contrasting form. The proposal, with staff’s recommendation to incorporate a hipped roof, will be complementary to other single-family homes in the area and consistent with the existing roof form.

4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (12.108.040.D).

The proposal includes a ground floor addition to an existing one-story single-family dwelling. The overall design and scale is consistent with the neighborhood, which consists of single-family homes. The height of the home would increase to 24’-9”, which is less than the 28’-0” height limit of the R-1 zone. The proposed expansion also meets the floor area, lot coverage, and setback requirements of the zoning district, therefore, the structure would not unreasonably restrict or interfere with light and air on the adjacent properties. Furthermore, the addition would conform to the daylight plane requirement of the RDG.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G).

The proposed addition would have a combination hip and gable roof form, with a hip-style front elevation, which is keeping with the character of the neighborhood, which is not anticipated to be significant enough to impair the desirability of investment within the neighborhood. Staff finds that this roof compromise to be harmonious with the character of the neighborhood, which consists of hipped roof homes.

6. That any proposed single-family or two-family dwelling conform to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.I).

Staff finds that the proposed addition, with the roof modification, would conform to the basic design principles of the Residential Design Guidelines (RDG) by continuing the simple building form of the existing structure.

The addition of a window above eye-level on the second story conforms to section 3.13.2 of the Residential Design Guidelines. The second story louvered deck with the proposed setback would “minimize privacy intrusions on adjacent residences,” in accordance with 3.13.2 of the RDG.

CONDITIONS OF APPROVAL

Community Development Department – (650) 616-7089

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 16-014 shall not be valid for any purpose. Use Permit 16-014 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit for an addition shall be built according to plans approved by the Planning Commission on September 20, 2016, labeled Exhibit C except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The residence shall be used only as a single-family residential dwelling unit. No portion of the residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the California Building Code. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance.
8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning and Building staff to ensure compliance with the conditions of approval during the construction process.
9. Prior to Final Inspection, 15% of the site shall be landscaped to the satisfaction of the Community Development Director. No more than 80% of the lot shall consist of impervious surface.
10. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has

established an exemption form, which may be submitted to the City in-lieu of FAA notification.

11. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.
12. Comply with the most current version of the California Codes, including the California Residential Code.

Public Services Department – (650) 616-7065

13. The front property line is located 5.5 feet behind the sidewalk at 718 Cypress Avenue. No fences, retaining walls, or other permanent structure shall be placed or constructed within 5.5 feet from the back of sidewalk along Cypress Avenue. S.B.M.C. 8.08.010.
14. There is currently an unauthorized brick planter built within City right of way on Cypress Avenue. Although the structure may remain at this time, should the City ever need to access facilities underneath the planter, any costs to remove the planter shall be at the sole expense of the Property Owner.
15. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all proposed grading and drainage improvements. Please add the Public Utility Easement as shown on the attached mapping. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
16. Show on the plans existing and any proposed lateral services for domestic water (including meter size), and sanitary sewer in accordance with the applicable California Building Code 2013.
17. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02. Older clean outs not meeting current City standards shall be replaced. Show on the plans the location of the existing sewer lateral. Also show the existing or new cleanout.
18. Planting of one 36-inch box size approved tree or payment to the in-lieu replacement tree fund per most current fee schedule is required. Tree shall be located on Scott Street per SBMC 8.24.060. At the current rate, the impact payment required is \$540. A separate tree-planting permit is required from Parks Division for any new street tree.
19. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property not caused by a City street tree shall be removed and replaced. Show or note on the plans the replacement of any locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010.
20. Prior to final inspection, paint the address number on face of the curb near the driveway approach with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted.

21. Obtain an Encroachment Permit from Public Works Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit. Add this requirement on the plans as a note.
22. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020. Include the attached County Best Management Practices (BMPs) sheet on the plans.
23. Show on plans how storm water will be collected from downspouts and other on-site drainage and disposed of, either into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary.
24. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for review.
25. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing water meter is sufficient to serve proposed water demand. If existing meter is undersized a new meter will be required including water and sewer capacity charges based on the size of the new water meter installed along with materials and installation charges for an upgraded water meter. Please indicate on the plans the location and size of the existing water meter and the available water pressure at the property. For additional information, attached are Calculation Procedures and the estimated water pressure available near the property at 765 Cypress Avenue is 42 psi static.

Fire Department – 650-616-7096

26. Address numbers to be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
27. Provide hard-wired smoke detectors with battery backup as required by building code.
28. Provide spark arrester for chimney if not currently in place.

Date of Preparation: September 16, 2016
Prepared by: Matt Jones, Contract Assistant Planner

EXHIBITS

- A:** Site Location
- B:** Photographs
- C:** Reduced Plans and Green Building Statement
- D:** Colors and Materials

718 Cypress Avenue
020-054-120
UP-16-014

Exhibit A: Site Location



Exhibit B: Photographs

Subject Site



Neighboring property (across street)



Neighboring property (to the north)



Neighboring property (to the south)



EXHIBIT C

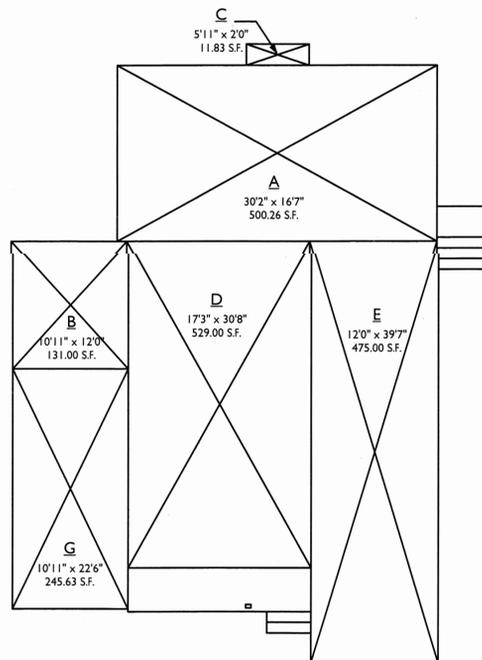
DEMOLITION NOTES

- 1A (WALL) REMOVE STRUCTURAL WALL
- 1B (WALL) REMOVE NON STRUCTURAL WALL
- 1C (PORCH) REMOVE PORCH
- 1D (FENCE) REMOVE FENCE
- 1E (FACE) REMOVE BRICK FACING

- 2A (WINDOW) OPEN WALL FOR (N) WINDOW
- 2B (DOOR) OPEN WALL FOR (N) DOOR
- 2C (ACCESS) OPEN WALL FOR (N) ACCESS

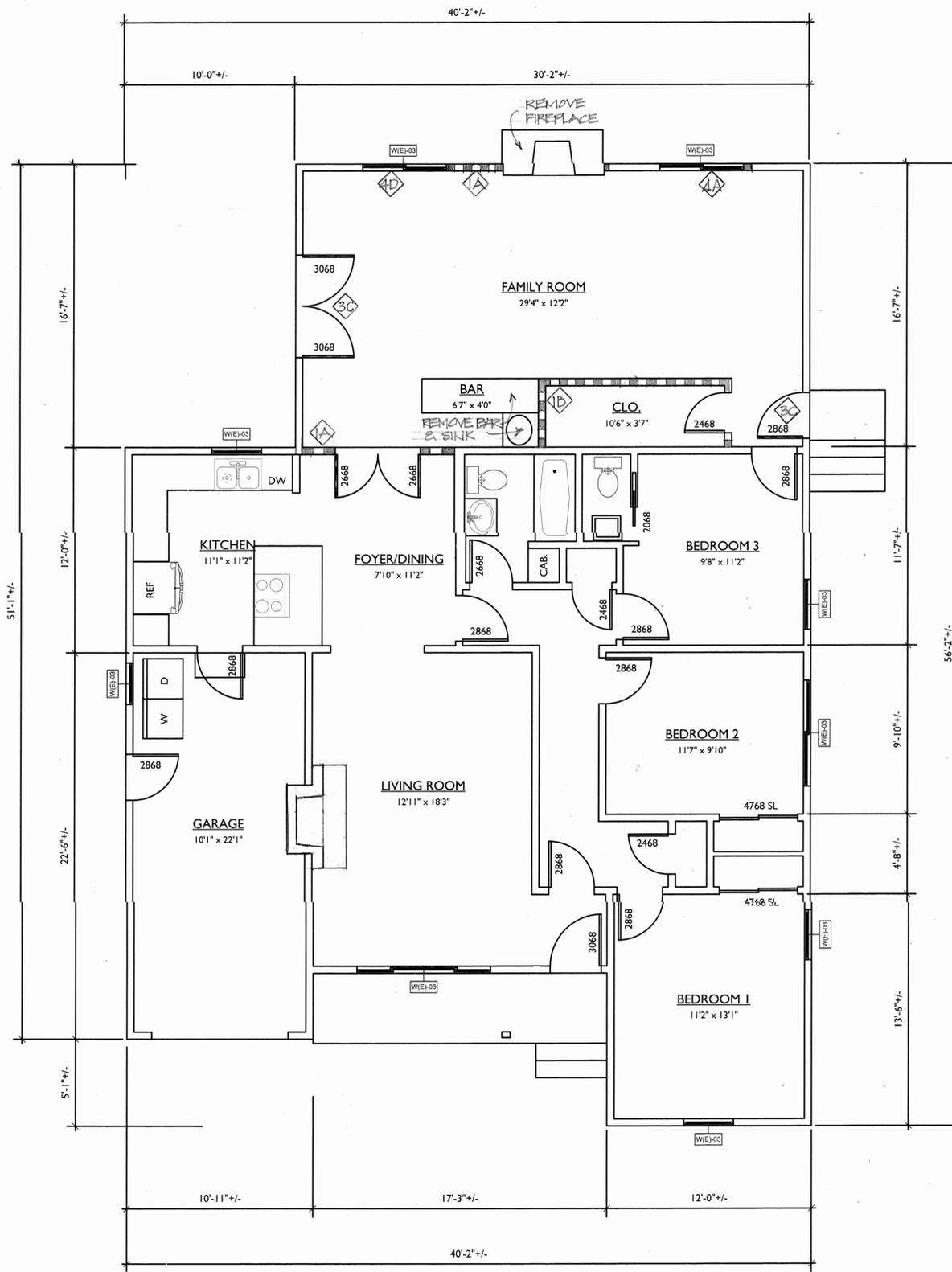
- 3A (CLOSE) REMOVE DOOR & CLOSE OPENING
- 3B (ADJUST) REMOVE DOOR ADJUST OPENING FOR (N) DOOR
- 3C (ADJUST) REMOVE DOOR ADJUST OPENING FOR (N) WINDOW
- 3D (REHANG) REMOVE DOOR REHANG WITH DIFFERENT SWING
- 3E (ADJUST) REMOVE DOOR, KEEP OPENING

- 4A (FOR (N)) REMOVE WINDOW, ADJUST OPENING AS NEEDED FOR (N) WINDOW
- 4B (CLOSE) REMOVE WINDOW & CLOSE OPENING
- 4C (CHANGE) REMOVE WINDOW & CHANGE OPENING
- 4D (DOOR) REMOVE WINDOW, ADJUST OPENING FOR (N) DOOR



A	=	500.26 SF
B	=	131.00 SF
C	=	11.83 SF
D	=	529.00 SF
E	=	475.00 SF
(E) HOUSE	=	1,647.09 SF
(E) LIVING AREA	=	1,635.26 SF
GARAGE = G	=	245.63 SF
TOTAL EXISTING FLOOR AREA	=	1,892.72

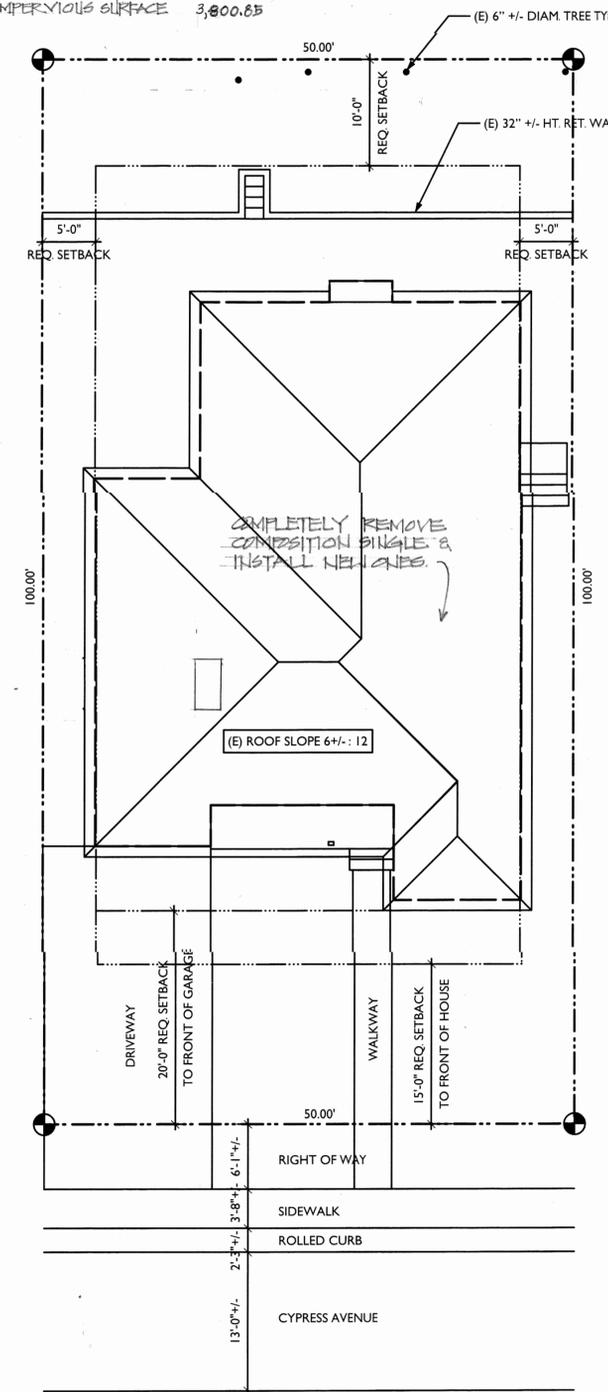
AREA CALCULATIONS DIAGRAM
SCALE: 1/8" = 1'-0"



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT DATA

APN: 020054120
 LOT SIZE: 5,000 SF
 ZONE: R-1
 EXISTING LOT COVERAGE: 1,092.72
 MAX ALLOWED LOT COVERAGE: 80% OR 4,000 SF OF IMPERVIOUS SURFACE
 EXISTING FLOOR AREA: 1,892.72 SF
 MAX ALLOWED FLOOR AREA: 55% OR 2,750 SF
 EXISTING BUILDING HEIGHT: 18'-1" +/-
 MAXIMUM HEIGHT: 28'-0"
 FLOOD ZONE: X
 HISTORIC CATEGORY: NONE
 CONSTRUCTION TYPE: V-B
 OCCUPANCY: R-3/U
 OWNER NAME: MICHAEL & STEPHANIE FELLION
 COVERED PARKING: 1
 IMPERVIOUS SURFACE: 3,800.85



EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

REVISIONS	BY
8.21.16	
9.9.16	

1376 EAST 27TH STREET OAKLAND CA 94606
N I I ARCHITECTS
 E: PAUL@NIIARCHITECTS.COM F: (510) 533-4214
 T: (510) 533-7270

ADDITIONS AND ALTERATIONS FOR THE
FELLION RESIDENCE
 AT 718 CYPRESS AVENUE
 SAN BRUNO, CA 94066

DATE 5.20.16

SCALE

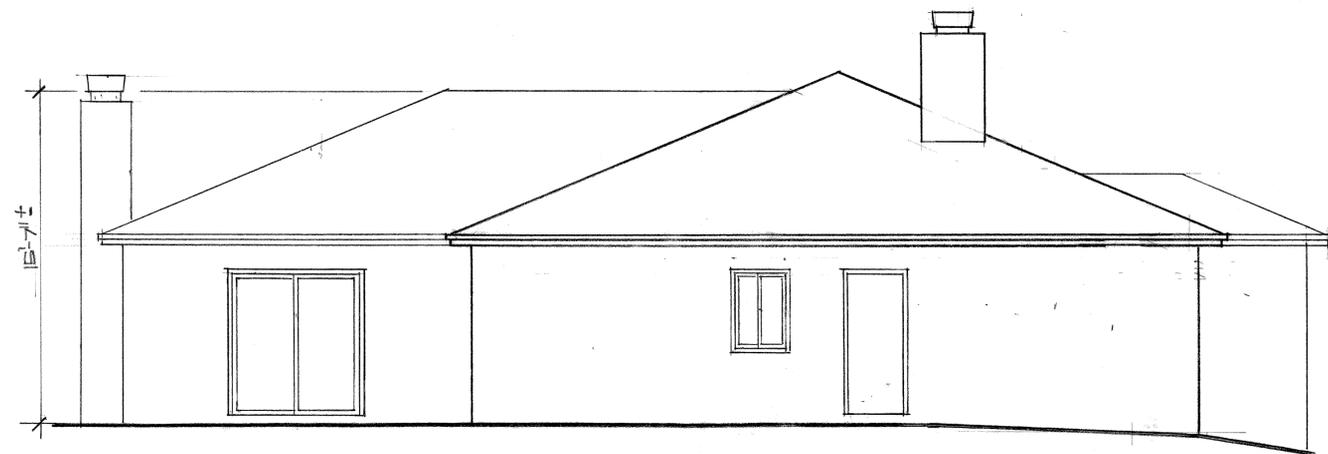
SHEET CONTENTS

SHEET

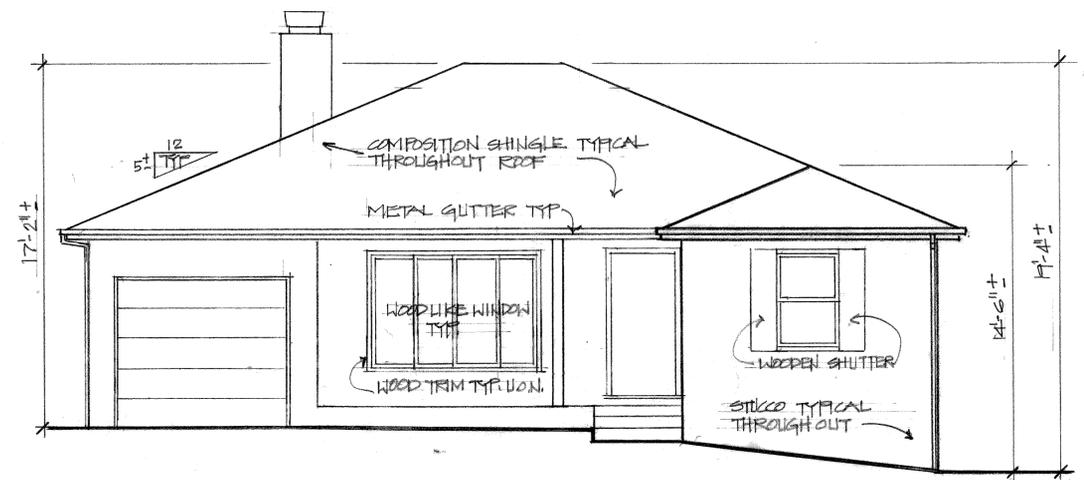
OF SHEETS

EXISTING ELEVATIONS

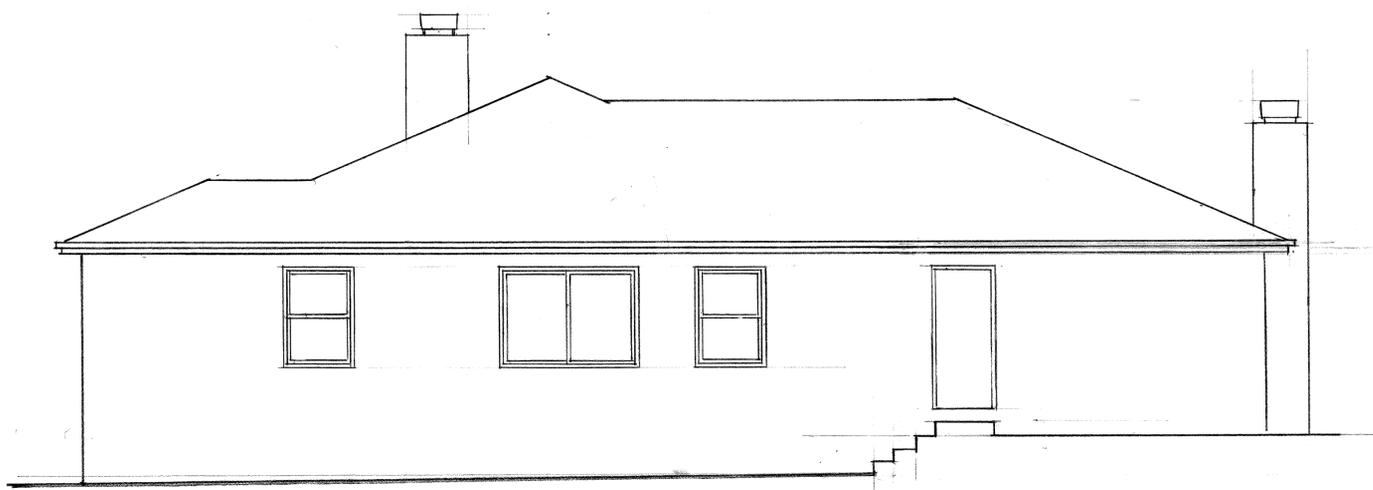
REVISIONS	BY
7.20.16	



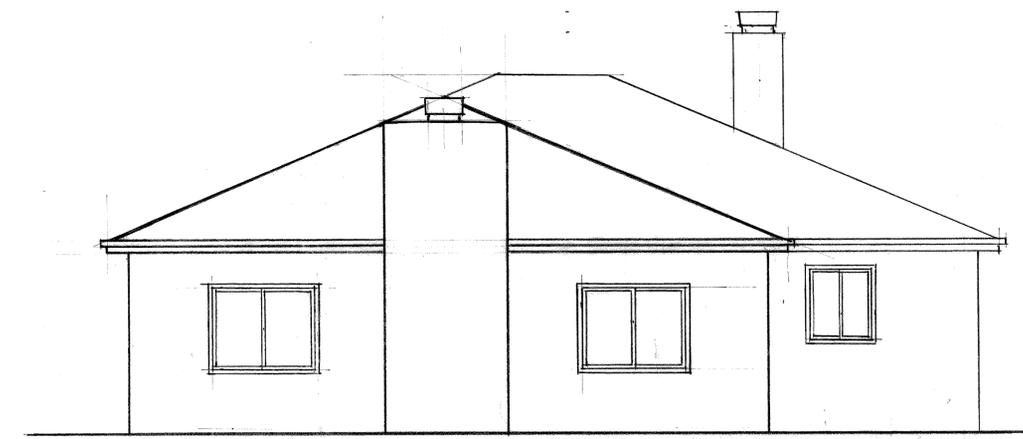
(E) NORTH (LEFT) ELEVATION
SCALE: 1/4" = 1'-0"



(E) EAST (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"



(E) SOUTH (RIGHT) ELEVATION
SCALE: 1/4" = 1'-0"



(E) WEST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"

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ADDITIONS AND ALTERATIONS FOR THE
FELLION RESIDENCE
 AT 718 CYPRESS AVENUE
 SAN BRUNO, CA, 94066

Date	5.20.16
Scale	
Drawn	
Job	
Sheet	2
Of	Sheets

SOLAR EFFECT

(ESL @ S & AE) EASTERN SUNLIGHT AT SPRING AND AUTUMN EQUINOX
 (WSL @ S & AE) WESTERN SUNLIGHT AT SPRING AND AUTUMN EQUINOX
 (SSL @ VE) SOUTHERN SUNLIGHT AT VERNAL EQUINOX

DUE TO THE ORIENTATION, THE HOUSE ON THE SOUTH (LEFT) IS MINIMALLY EFFECTED BY THE SHADOW OF THE SECOND FLOOR ADDITION. IF ANY, LATE AFTERNOON SUN MAY CAST SHADOW BUT WILL BE LIMITED SINCE THE HOUSE RIDGE RUNS NORTH-SOUTH. THE HOUSE ON THE NORTH (RIGHT) WILL BE EFFECTED FROM MORNING TO AFTERNOON. THE AFTERNOON SUN BEING HIGH, THE HOUSE WILL BE MINIMALLY EFFECTED BY THE SHORT SHADOW. THE MORNING SUN WILL EFFECT THE WESTERN HALF OF THE ROOF AND NOT MUCH ON THE EASTERN HALF SINCE ITS RIDGE RUNNING NORTH-SOUTH IS ALREADY BLOCKING THE SUNLIGHT.

2ND FLOOR ADDITION AREA

HOUSE: $(23.17)(16.92) + (3.5)(3.5) = 404.29$ SF
 BALCONY: $(23.17)(5.00) = 115.85$ SF

FRONT SETBACK IMPERVIOUS AREA

MAXIMUM = 60% OF 1,000 SF (20' x 50')
 $20.00 \times 17.00 = 340.00$
 $20.00 \times 3.50 = 70.00$
 410.00 SF
 MAX. = 600 SF $\therefore 410 < 600$.

EXISTING IMPERVIOUS SURFACE

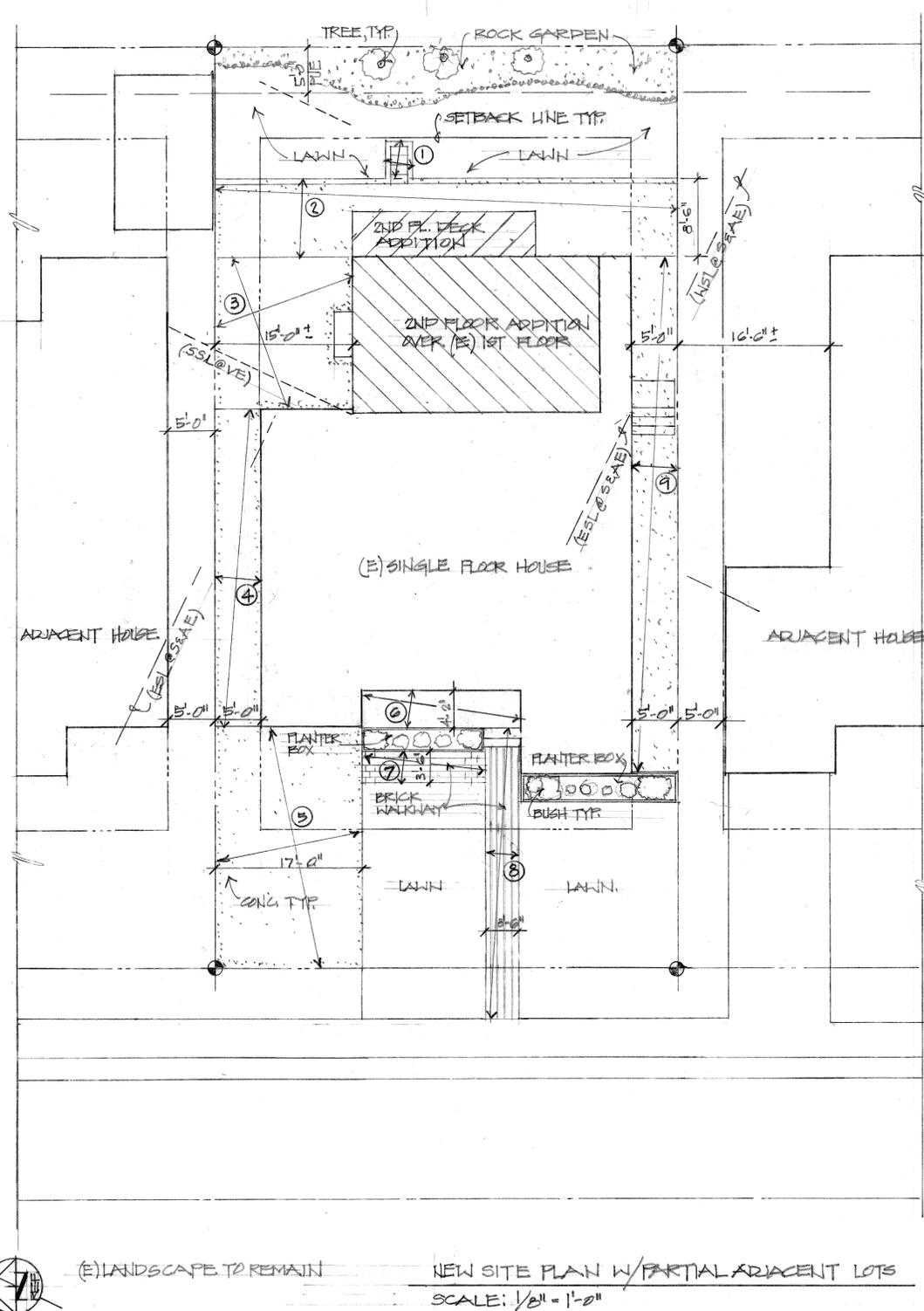
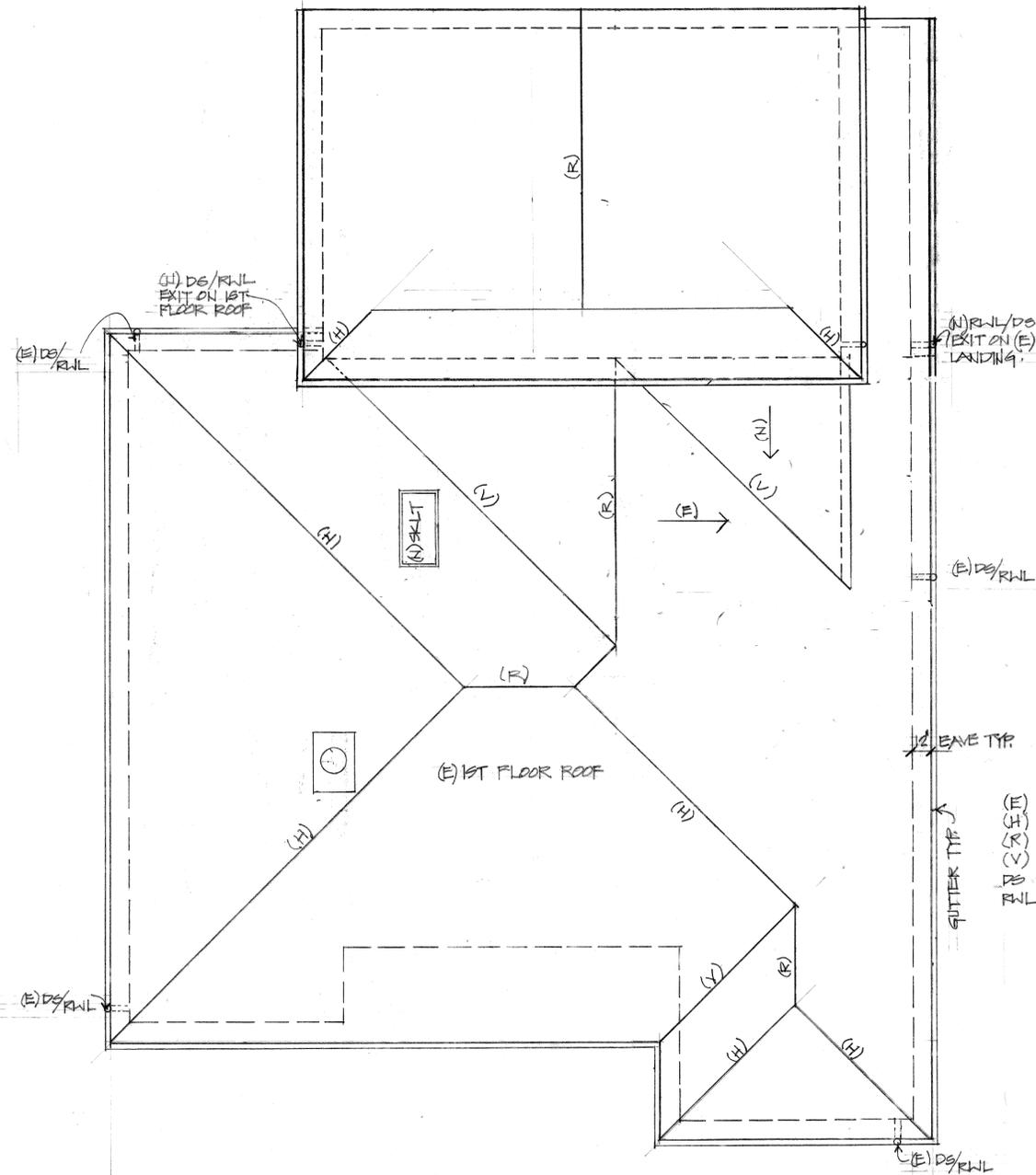
- ① $3.00 \times 4.00 = 12.00$
 - ② $50.00 \times 8.50 = 425.00$
 - ③ $15.00 \times 16.58 = 248.70$
 - ④ $5.00 \times 34.50 = 172.50$
 - ⑤ $17.00 \times 26.25 = 446.25$
 - ⑥ $17.25 \times 4.08 = 70.38$
 - ⑦ $13.17 \times 3.50 = 46.10$
 - ⑧ $3.50 \times 26.00 = 91.00$
 - ⑨ $5.00 \times 56.17 = 280.85$
- TOTAL 1,792.28 SF

DECK AREA

$23.17 \times 5.00 = 115.85$ SF
 HOUSE AREA 1,892.72
 (E) IMPER. AREA 1,792.28
 TOTAL 3,800.85 SF
 MAX. IMP. AREA 4,000.00 SF (80% OF LOT)
 $3,800.85 \text{ SF} < 4,000.00 \text{ SF}$

GREEN BUILDING TECHNIQUES.

THE RENOVATION TO THE HOUSE WILL MINIMALLY PROVIDE FOLLOWING ITEMS TO PARTIALLY MEET "GREEN" REQUIREMENTS: ENERGY EFFICIENT LIGHTING AND PLUMBING FIXTURES AND WINDOWS. INSULATIONS IN THE WALL CAVITIES AND ATTIC SPACES. MINIMAL DESTRUCTION TO EXISTING HOUSE TO REDUCE WASTE AND AIRBORNE DUSTS.

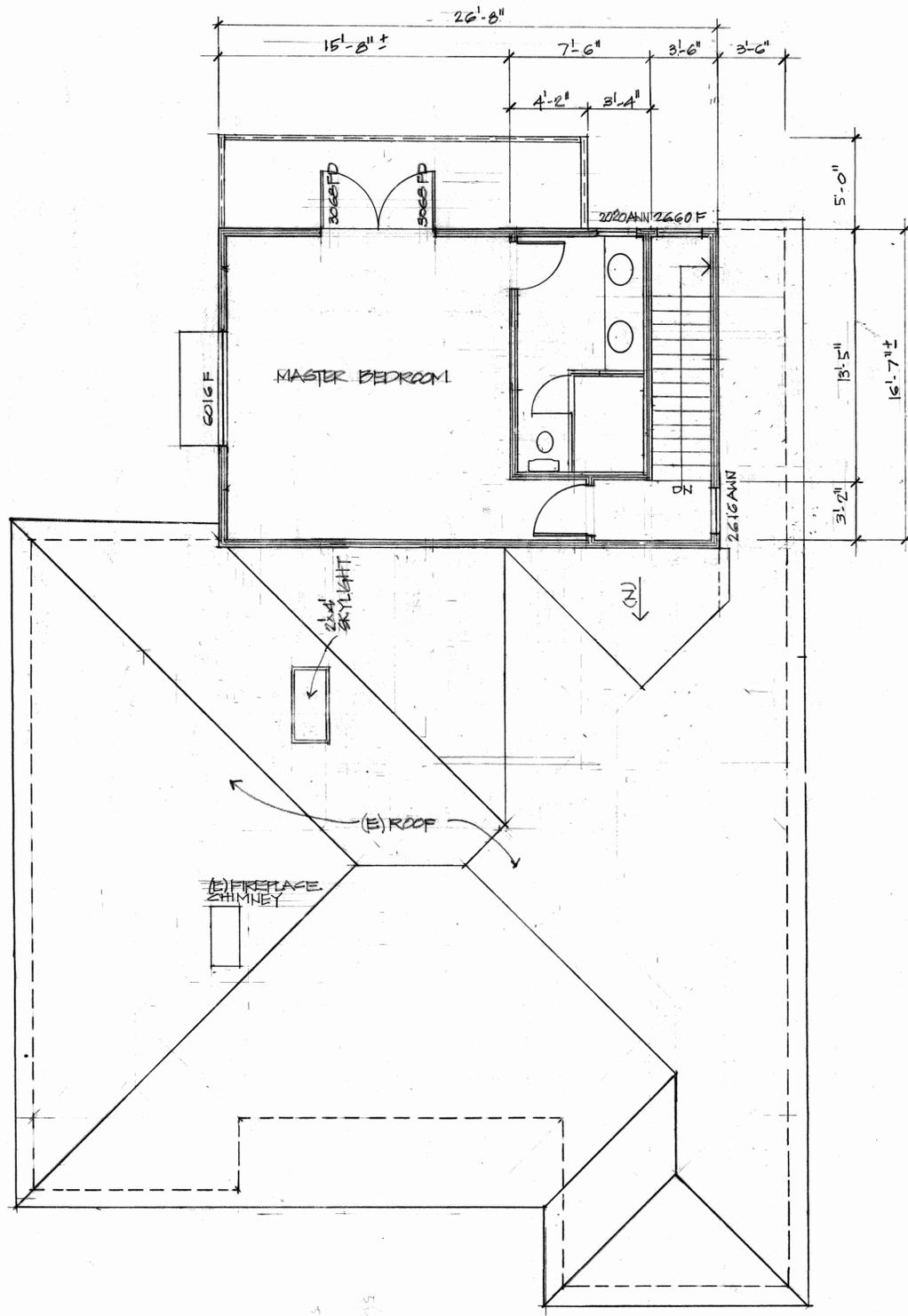


REVISIONS	BY
7.20.16	
8.19.16	
8.31.16	
9.9.16	

1376 EAST 27TH STREET OAKLAND CALIFORNIA 94606
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 t: (510) 533-7270 e: paul@niniaarchitects.com f: (510) 533-4214

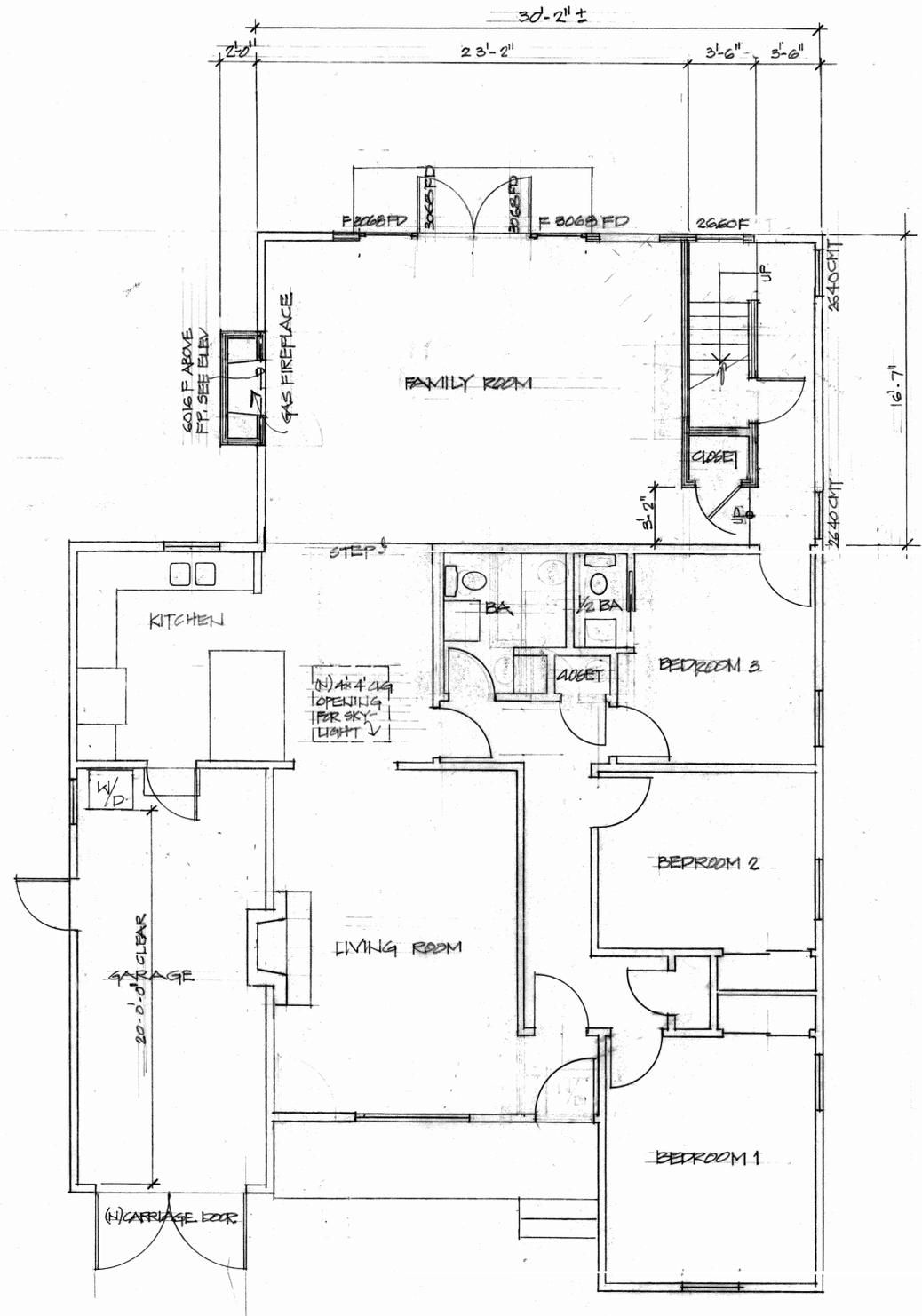
ADDITIONS AND ALTERATIONS FOR THE
FELLION RESIDENCE
 AT 718 CYPRESS AVENUE
 SAN BRUNO, CA 94066

Date 5.20.16
 Scale
 Drawn
 Job
 Sheet 3
 Of 3 Sheets



LEGEND

- (E) WALL
- (N) WALL
- (N) GUARD RAIL



REVISIONS	BY
7.20.16	
8.19.16	
8.31.16	

1:76 EAST 27TH STREET OAKLAND CALIFORNIA 94606

N I I ARCHITECTS

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ADDITIONS AND ALTERATIONS FOR THE

FELLION RESIDENCE

AT 718 CYPRESS AVENUE
SAN BRUNO, CA, 94066

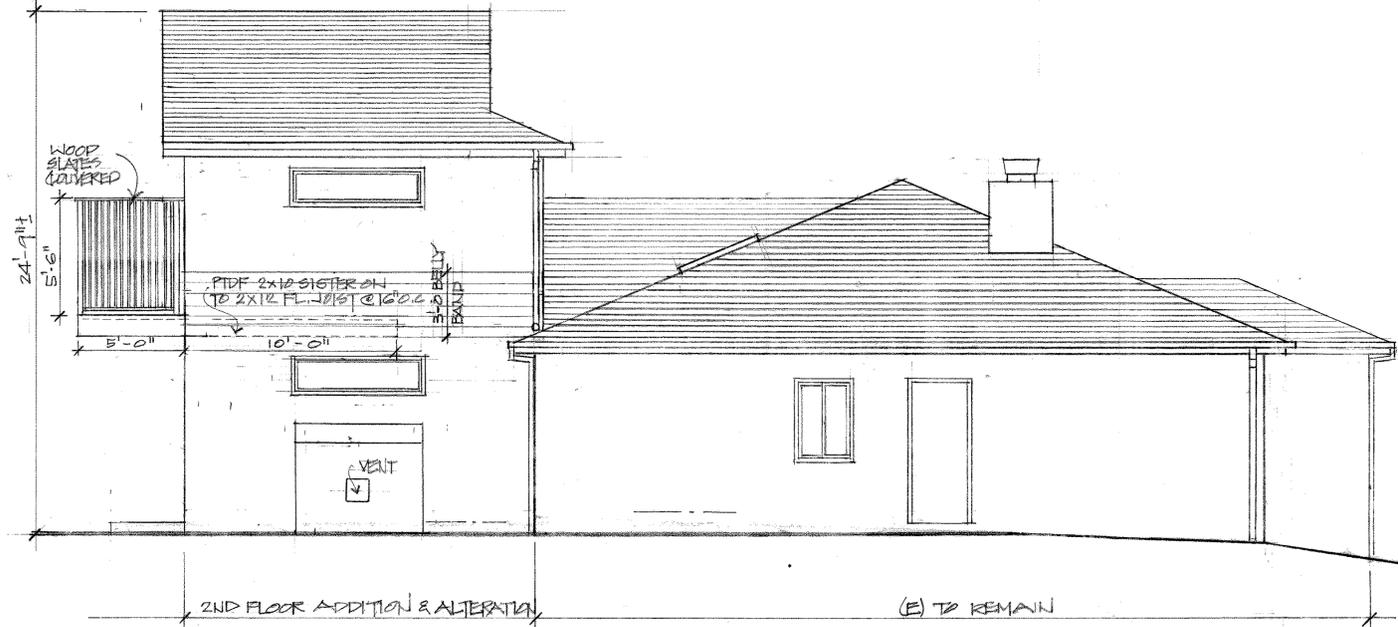
Date	5-20-16
Scale	
Drawn	
Job	
Sheet	4
Of	Sheets

EXHIBIT C

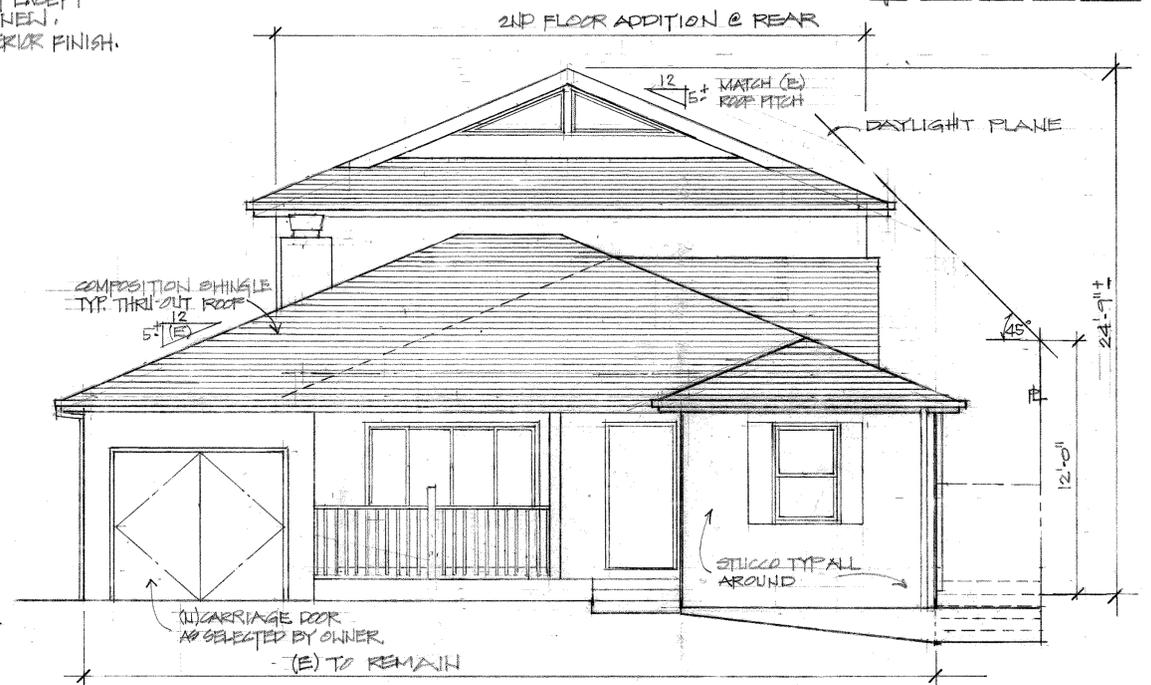
PROPOSED ELEVATIONS

ALL FINISHES ON ADDITION SUCH AS TRIMS, WALLS & OTHERS TO MATCH EXISTING EXCEPT ROOFING WHERE EXISTING TO MATCH NEW. COLORS TO BE AS NOTED UNDER EXTERIOR FINISH.

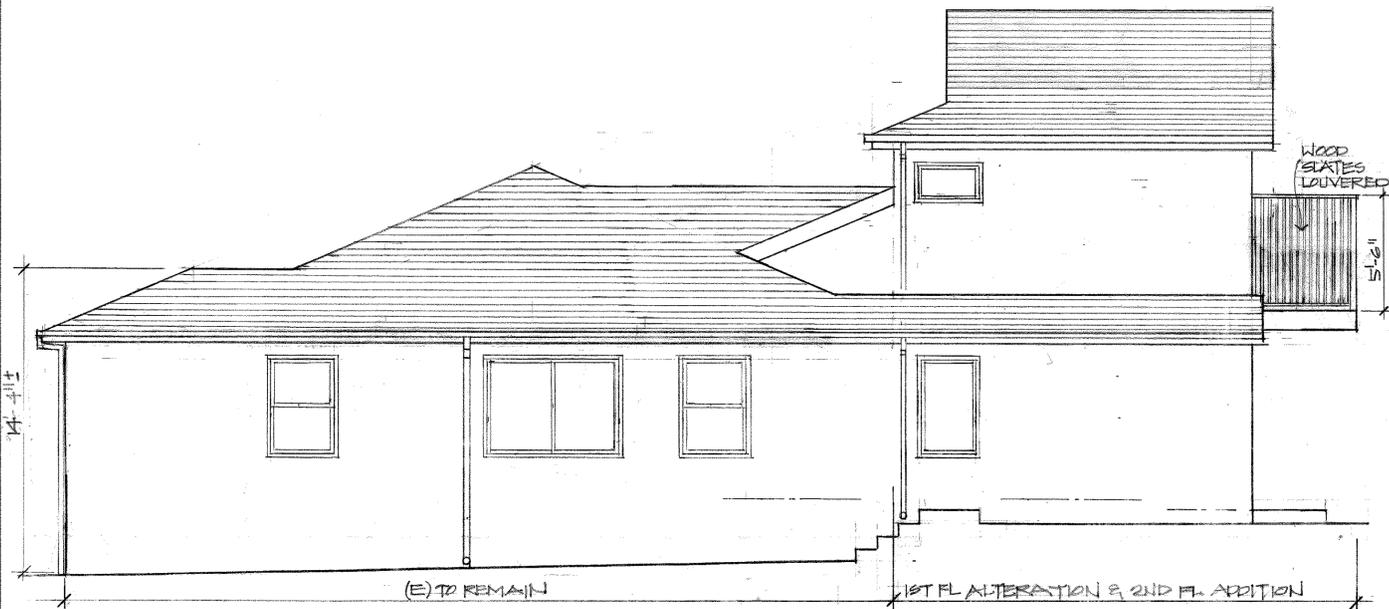
28'-0" MAXIMUM BLDG. HT.



NORTH (LEFT) ELEVATION
SCALE: 1/4" = 1'-0"



EAST (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH (RIGHT) ELEVATION
SCALE: 1/4" = 1'-0"



WEST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES

- ROOF: COMPOSITION SHINGLE
COLOR: CHARCOAL
 - GUTTER: GA. METAL PAINT-GREY
 - RVL: " "
 - FACIA: BOARD PAINT
 - WALL: STUCCO - GREY
 - WINDOW: WOODLIKE
 - TRIM: WOOD - OFF WHITE
 - GUARD RAIL: REDWOOD
 - BOARD: WOODLIKE - GREY
- COLORS:
- GREY - WINTER'S PARK KM5824
 - OFF WHITE BONE 27
 - STUCCO MATCH EXISTING

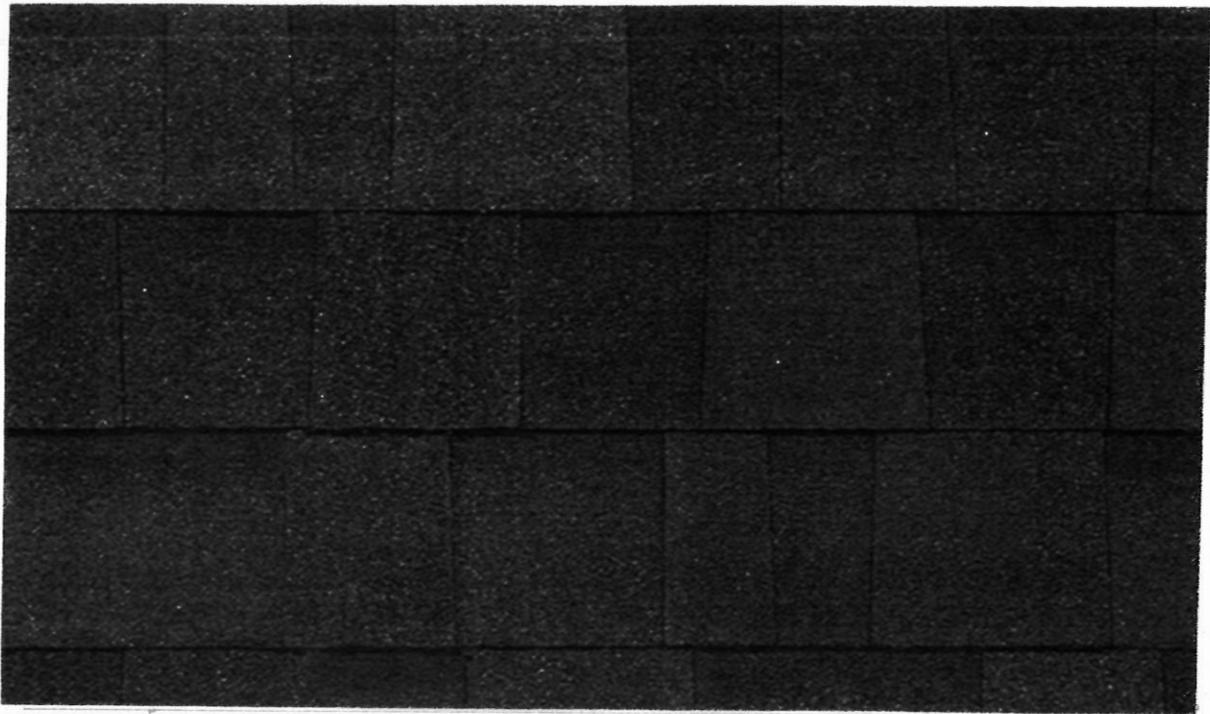
REVISIONS	BY
7.20.16	
7.20.16	
8.19.16	
8.29.16	

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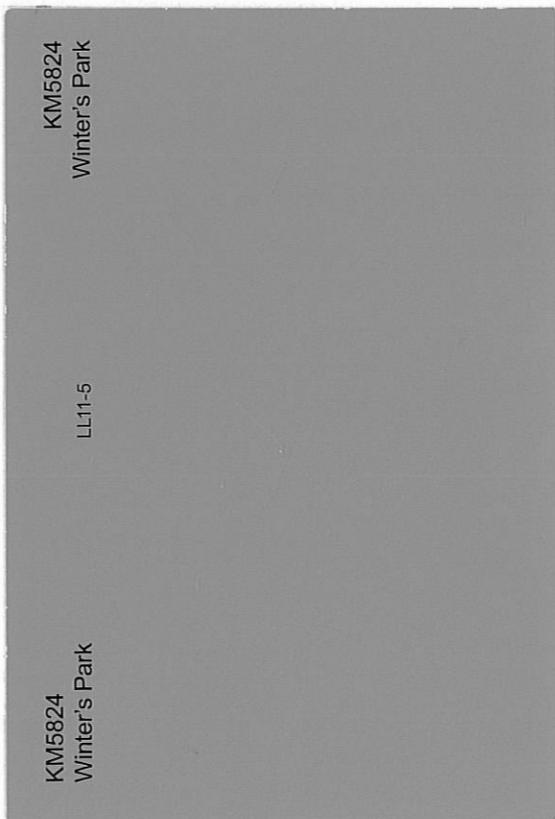
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Date	5.20.16
Scale	
Drawn	
Job	
Sheet	5
Of	Sheets

EXHIBIT D COLOR SAMPLES



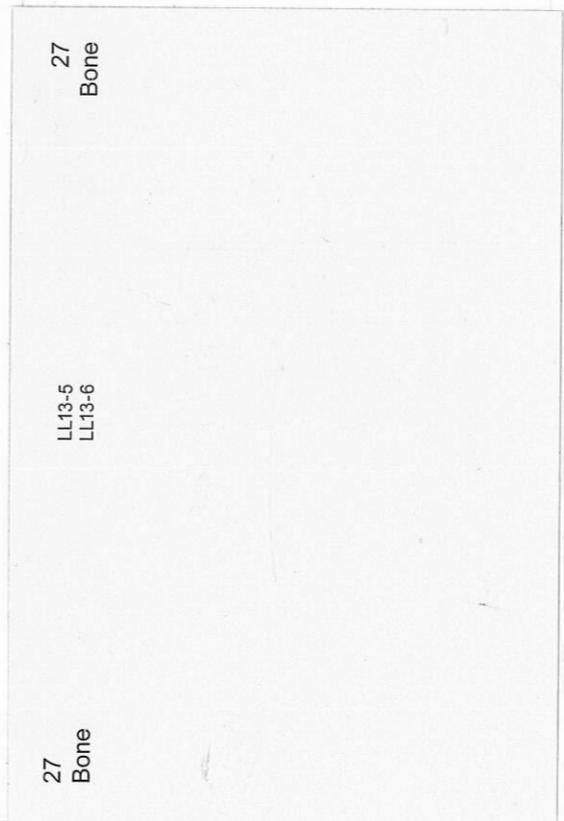
ROOF: COMPOSITION SINGLE BY OWEN CORNING
COLOR: OAKRIDGE ONYX



KM5824
Winter's Park

LL11-5

KM5824
Winter's Park



27
Bone

LL13-5
LL13-6

27
Bone

STUCCO WALL WOOD TRIM
PAINT BY KELLY-MOORE



567 El Camino Real
San Bruno, CA 94066
Voice: (650) 616-7074
Fax: (650) 873-6749
www.sanbruno.ca.gov

STAFF

David Woltering, AICP, *Community Development Director*
Mark Sullivan, AICP, *Long Range Planning Manager*
Michael Smith, *Senior Planner*
Matt Neuebaumer, *Associate Planner*
Megan Wooley-Ousdahl, AICP, *Associate Planner*
Matt Jones, *Contract Assistant Planner*
Marc Zafferano, *City Attorney*

PLANNING COMMISSION

Rick Biasotti, *Chair*
Marie Kayal, *Vice Chair*
Mary Lou Johnson
Kevin Chase
Sujendra Mishra
Perry Petersen
Joe Sammut

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. 5.D.
September 20, 2016**

Project Address: 139 Florida Avenue
Assessor's Parcel No: 020-375-130
Application No.: UP-15-001
Zoning District: R-2 (Low Density Residential)
General Plan Classification: Low Density Residential
Prepared by: Michael Smith, (650) 616-7062

REQUEST

Request for a Use Permit to allow the construction of a 1,296 square foot first and second floor addition on the east side of the building, increasing the gross floor area of the existing home by greater than 50% (121%) and exceeding 1,825 square feet of living area (1,870 s.f.) with a one car garage; per Sections 12.200.030.B.1 and 12.200.080.A.2 of the of the San Bruno Municipal Code. Echo Liu (Applicant); Shui Ben Lau (Owner).

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit 15-001 with staff recommendations, based on Findings 1-6 and subject to Conditions of Approval 1-29.

PROJECT DESCRIPTION

The applicant is proposing to remove the detached garage located on the east side rear of the lot and construct a new 1,296 square two story addition on the east side of the building. The addition would include a 426 square foot garage and increase the gross floor area from 1,070 square feet to 2,296 square feet, including the garage, and a floor area ratio (FAR) of 0.53 where 0.55 is the maximum permitted. With the approval and the construction of this proposed project, it would resolve a code enforcement case (CE1309-0010) for illegal construction, regarding a 210 square-foot room and bathroom on the ground floor and the rear deck and stairs. If approved, the two-bedroom, two-bath residence would become a three-bedroom, two-and-a-half bathroom home with a total floor area of 1,870 square feet of habitable area, not including the 426 square foot garage.

ARCHITECTURAL REVIEW COMMITTEE

The Architectural Review Committee (Biasotti, Kayal) reviewed this project at its July 14, 2016 meeting. Members asked about: the general layout, the height of the "crawl space", internal circulation, the first floor office and bathroom layout, and the angled wall along the east property line. Staff required that the full bathroom in the ground floor office be removed since there was no

BACKGROUND

This project was originally reviewed by the Architectural Review Committee at its March 10, 2016 meeting and forwarded to the Planning Commission with a recommendation for approval. The Planning Commission then reviewed the project at its April 5, 2016 meeting and voted to return the project to staff because of unresolved concerns about the close proximity of the existing dwelling to the side property line and the building's unconventional floor plan.

To address these concerns staff first spoke to a representative at American Land Surveying (ALS) that the applicant had previously contacted the company about using its services for the Florida Street property but was referred to other companies because they did not have the time to perform the work. The ALS representative estimated that it would cost \$5,000 to survey the property and would require surveying other properties on the subject block. The company is familiar with the neighborhood describing it as a difficult one to survey because of the irregular shape of the lots and a lack of proper survey monuments. The job would require resolving the boundaries for multiple lots within the block which could "open a can of worms" if discrepancies are found. Given this information, staff concluded that the proposed addition does not involve the nonconforming west side of the residence, the high cost involved, the possibility of impacting neighboring properties, and the fact that similar "zero lot line" conditions can be found on many properties within this neighborhood, the applicant should not be required to produce a site survey for the subject property. It should also be noted that land surveys are not commonly required for residential additions even when buildings have zero lot line conditions. The Zoning Ordinance allows these legal nonconforming situations to remain with the provision that they not be enlarged in a manner that increases the degree of nonconformity. Furthermore, the project would resolve a life/safety issue through removal of existing windows on the nonconforming right elevation thereby increasing fire protection. The ARC members reviewed and agreed with staff's explanation regarding this issue.

The proposed floor plan for 139 Florida Avenue features three bedrooms and three baths on the primary living level. The proposed plan is in response to the building's many constraints which include a bi-level floor plate that is placed side-by-side and the location of the addition at the side of the plan where additions are more commonly constructed at the rear of the plan. The original floor plan was a C-shaped plan that utilized a small number of stairs when circulating from side to side within the floor plan with one bedroom accessed from the rear of the plan and two bedrooms accessed from the front of the plan. To respond to the Commission's concerns regarding the original floor plan, the applicant reduced the size of the proposed ensuite baths on the left side front of the plan to create an L-shaped hallway connecting all the bedrooms on the left side of the plan. The ARC members reviewed the floor plan and supported the revised layout.

The ARC members expressed concern about the potential for the ground floor crawl space to be converted into habitable space and asked staff to consult with the City Attorney about requiring a deed restriction for the crawl space. The applicant was amenable to the deed restriction requirement which has been included as condition of approval #9.

ENVIRONMENTAL REVIEW

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301.e: Existing Facilities.

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on September 8, 2016.
2. Advertisement published in the San Mateo Daily Journal, Saturday, September 10, 2016

PUBLIC COMMENT

No comments have been received as of the completion of this staff report.

REVIEWING AGENCIES

Community Development Department
Public Services Department
Fire Department

EXISTING CONDITIONS

The subject property is located in the historic “Cupid’s Row” (heart) residential area on Florida Avenue between Milton and Huntington Avenues in the San Bruno Park 3 subdivision. The subject lot is substandard in size (3,998 square feet), irregularly shaped with a fifty-foot wide front and a 32-foot wide rear property line. The existing right side setback is also substandard, varying between three feet at the front side and one foot at the rear side. The property is currently developed with a two-story dwelling with two bedrooms and two bathrooms, 860 square feet of living space on the upper floor, a 210 square-foot detached garage, and a 214 square foot unpermitted room with a full bathroom on the ground floor. The total gross floor area is 1,070 square-feet, not including the illegal office and bathroom. An unpermitted 166-square foot second floor covered deck and stairs is at the rear of the home.

ADDITIONAL INFORMATION

- **Accessory Structures:** There is a 210 square foot detached garage located on the subject property. This structure will be removed as part of the proposal.
- **Code Enforcement:** There is an open code enforcement case for this property (CE1309-0010) for illegal construction related to the 210 square-foot room and bathroom on the ground floor and the rear deck and stairs. These items would be resolved if the project is approved and constructed as proposed.
- **Easements:** There are no easements on the property.
- **Heritage Trees:** There are no heritage trees located on the property.
- **Previous additions or alterations:** None, there are no building permits issued in the record.

SURROUNDING LAND USES

North: Sylvan Avenue – R-2 (Low Density Residential)
South: Cupid Row – R-2 (Low Density Residential)
East: Huntington Avenue - U (Unclassified (Caltrain tracks))
West: Milton Avenue – R-2 (Low Density Residential)

PROJECT DETAILS SUMMARY

SITE CONDITIONS		ZONING REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS
Land Use		R-2	R-2	R-2
Lot Area		5,000 s.f. 4,318 s.f. adjusted	3,998 s.f. 4,318 s.f. adjusted	3,998 s.f. 4,318 s.f. adjusted
Lot Coverage		2,019 s.f. (47%)	1,070 s.f. (25%).	1,719 s.f. (40%)
Gross Floor Area		2,375 s.f.*	1,070 s.f.	2,296 s.f.
Floor Area Ratio		0.55	0.25	0.53
Building Setbacks	Front	15'-0"	10'-6" (at closest point)	10'-6" (at closest point)
	Rear	10'-0"	13'-8" (at closest point)	13'-8" (at closest point)
	R Side	5'-0"	1'-0" (at closest point)	1'-0" (at closest point)
	L Side	5'-0"	16'-0" (at closest point)	5'-3" (at closest point)
Building Height		28'-0"	19'-6"	20'-2"
Covered Parking		2 spaces	1 space	1 space

Notes:

*See Chart 1 in Section 12.96.060 of the SBMC for the floor area ratio adjustment factor for lot size.

**Max. FAR = Lot size X adjustment factor X ratio

Square Footage Breakdown:

	Ground floor	Second Floor	Garage	Total
Existing	0	860	210 (demo)	860
Proposed	355	655	426	1,436
Total	355	1,515	426	2,296

STAFF'S PROJECT ANALYSIS

A Use Permit is required as the addition would increase the gross floor area of the residence by more than 50%. As proposed it will increase from 1,070 square feet to 2,296 square feet (50% is 535 square feet) and the FAR will increase to 0.53 (existing is 0.25) where 0.55 is allowed. On the ground level, the 140 square-foot room has no internal circulation with the second floor of the single family dwelling, and therefore the full bathroom is required to be removed. Proposed is the addition of a 215 square-foot family room and a half bathroom at the rear of the ground floor. Most of the existing ground level cannot be habitable as it does not have the required ceiling height (7'-6"), except for the area where the unpermitted office/room and full bathroom are located. On the plans this area is labeled "crawl space" and a condition of approval would restrict this area from living area. The proposed two-story addition would result in a split level home with the existing portion of the home having a lower floor level than the new are above the new garage and family room. A new 135-square foot second floor covered deck is proposed to be constructed to replace the unpermitted deck and stairs.

The project requires Planning Commission approval because the applicant is proposing to construct a tandem two-car carport to meet the off-street parking requirement. Due to the existing two-level home

without the required ceiling height on the ground level area, the irregular shape of the lot, and substandard lot size and setbacks, it is not possible to provide a two-car garage without tandem parking. The proposal will increase the parking capacity of the property by providing two covered parking spaces as well as a third un-covered parking space in the new 20-foot long driveway.

The design of the addition is consistent with the character of the neighborhood and with the Residential Design Guidelines. The proposed addition would be well-integrated with the existing single-family dwelling as it blends with the existing style and most of the existing exterior elements will remain the same. The home was constructed in 1933 and is typical of the homes built at that time period and in the surrounding area. The front stairs lead to the living area on the upper floor with a small enclosed front porch, the roof is a flat parapet type with no overhang, a cantilevered second floor in the front with a window, with a façade with little architectural detail. The existing home exterior has wood shingles, is somewhat boxy, with a flat roof. Also typical of the neighborhood and the area, the property has a substandard size lot size and width, which does not meet current front or side setbacks. Immediately adjacent to the subject property are two-story, single-family and multi-family residential uses, and across the street one- and two-story homes. Staff recommends a condition of approval that the applicant remove the unpermitted bathroom and any existing unpermitted utilities to the source, and that no living space be created in the crawl space which does not meet the minimum ceiling height (7'-6") for habitable area.

The proposed expansion will utilize exterior materials including cementitious horizontal lap siding (similar to Hardie board), a flat, parapet type roof similar to the existing roof style. Exterior colors are ginger tea (medium beige) body, gutters and downspouts, a crimson garage door, white wood trim around the white vinyl windows and doors, and a black metal railing on the rear deck. The new white metal garage roll-up door will include lites along the top.

The proposed second floor deck is to the rear of the home and does not create a privacy issue. The deck is enclosed on the sides, only open to the rear without stairs and overlooks shed on the adjacent property. According to Section 3.13.2 of the Residential Design Guidelines, second-story decks should not intrude on the privacy of adjacent neighbors or create a privacy concern. Concerning windows on the second floor Section 12.96.070.D.13 of the Zoning Code restricts second floor transparent windows where the adjacent property side setback is more than ten feet. The home to the east is two stories and has a 14' side setback in the front and five-foot setback in the rear. The proposed addition would include a bedroom window on the side toward the front of the adjacent home, which at that point has a six-foot side setback from the property line and has no window, therefore the proposed window does not create a privacy concern. To the rear, are windows on both homes side elevations; however, the side setback is less than ten feet and the windows are offset from each other. The two-story home to the west has a nine-inch side setback at the closet and no additional windows are proposed. The adjacent property to the south of the subject property is a two-story multi-family building.

The existing and proposed impervious surface is less than the maximum of 60% in the front yard setback (33%). The proposed lot coverage is proposed to be 43% where the maximum allowed is 85%. Concerning the proposed landscape plan, staff recommends that the applicant include: 1) additional appropriate shrubs and ground cover plants in the planter areas; with three inches of mulch; 4) that the soil be pretreated and utilize appropriate weed block to prevent weeds but allow storm-water percolation in the decomposed granite and planted areas; 4) and install a low-water use irrigation system as required by the Zoning Code.

FINDINGS

*Pursuant to the City's Municipal Code, the Commission shall grant the Use Permit if it makes the following findings. Required findings are in **bold** followed by staff's analysis of the merits of the project and how the findings can be made.*

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the home will be constructed according to the California Building Code (CBC) and, therefore, will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

- 2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)**

The applicant is proposing a 1,010 square foot first and second floor addition with a detached 426 square foot garage, increasing the existing gross floor area from 1,070 square feet to 2,296 square feet, and increasing the gross floor area by more than 50%. A Parking Exception is required to allow tandem garage parking spaces. With the staff recommendations incorporated as part of the project plans, the proposal will benefit the City and the surrounding neighborhood by improving the property in a well-designed manner. Therefore, staff finds that the project will not be detrimental to improvement in the neighborhood or to the general welfare of the City.

Regarding parking, the project is required to provide two parking spaces. The applicant is seeking a Use Permit to not provide the one additional parking space. The proposed garage is much larger than a standard single car garage but it is not wide enough or deep enough to accommodate a second parking space. However, it is presumable that the garage could accommodate smaller vehicles in a tandem configuration. Furthermore, the proposed driveway could provide an additional parking space though it would not count as a legal parking space because the S.B.M.C. requires that the required parking spaces be covered.

- 3. That the proposed development is consistent with the San Bruno General Plan. (SBMC 12.108.050.B.3)**

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the General Plan designation.

General Plan Policy LUD-3 states, "protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale." The proposal will be complementary to other single-family homes in the area. The proposed addition is well-integrated with the existing single-family dwelling as it blends with the existing style and most of the existing exterior elements will remain the same. The design of the project reinforces the residential character of the neighborhood and conforms to the policy.

- 4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will**

not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (12.108.040.D).

The design of the ground level addition is consistent with the character of the neighborhood and the Residential Design Guidelines. The proposed addition is well-integrated with the existing single-family dwelling as it blends with the existing style and most of the existing exterior elements will remain the same. The home was constructed in 1933 and is typical of the homes built at that time period and in the surrounding area. The front stairs lead to the living area on the upper floor with a small enclosed front porch, the roof is a flat parapet type with no overhang, a cantilevered second floor in the front with a window, with a façade with little architectural detail. The existing home is plain with a wood shingle exterior, somewhat box like with a flat roof. Also typical of the neighborhood and area, the property has a substandard size lot size and width, which do not meet current front or side setbacks. Immediately adjacent to the subject property are two-story, single-family and multifamily residential uses, and across the street one- and two-story homes. To the rear is a two-story multi-family residence.

The proposed second floor deck is to the rear of the home and does not create a privacy issue. The deck is enclosed on the sides, only open to the rear without stairs and overlooks shed on the adjacent property. According to Section 3.13.2 of the Residential Design Guidelines, second-story decks should not intrude on the privacy of adjacent neighbors or create a privacy concern. Concerning windows on the second floor Section 12.96.070.D.13 of the Zoning Code restricts second floor transparent windows where the adjacent property side setback is more than ten feet. The home to the east is two story has a 14' side setback in the front and five-foot setback in the rear. The proposed addition would include a bedroom window on the side toward the front of the adjacent home, which at that point has a six-foot side setback from the property line and has no window, therefore the proposed window does not create a privacy concern. To the rear are windows on both homes side elevations, but the side setback is less than ten feet and the windows are offset from each other.

The existing and proposed impervious surface does not exceed the maximum of 60% in the front yard setback (33%) consistent with section 12.96.070.D.6 of the Zoning Code. The proposed lot coverage is proposed to be 43% where the maximum allowed is 85%. The project does not exceed the maximum FAR or Lot Coverage

Therefore, the structure should not unreasonably restrict or interfere with light and air access on the property and on other property in the neighborhood, or hinder appropriate development and use of land and buildings in the neighborhood.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G).

The design of the addition is compatible with the architecture of the existing building and consistent with the character of the neighborhood and the Residential Design Guidelines. The proposed addition would be well integrated with the existing single-family dwelling, utilizing the same wood shingle exterior materials and compatible window openings. The home was constructed in 1933 and is typical of the homes built at that period and in the surrounding area. The front stairs lead to the living area on the

upper floor with a small enclosed front porch, the roof is a flat parapet type with no overhang, and a cantilevered second floor in the front with a window, and a façade with little architectural detail. Also typical of the neighborhood and area, the property has a substandard size lot size and width, which do not meet current front or side setbacks.

Therefore the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood

6. That any proposed single-family or two-family dwelling conform to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.I).

Staff finds that the proposed addition conforms to the basic design principles of the Residential Design Guidelines, as described in above Findings No. 4 and 5.

CONDITIONS OF APPROVAL

Community Development Department – (650) 616-7089

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 15-001 shall not be valid for any purpose. Use Permit 15-001 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for Use Permit shall be built according to plans approved by the Planning Commission on September 20, 2016 labeled Exhibit C except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The home shall be used only as a single-family residential dwelling unit. No portion of any residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living

space as defined in the California Building Code. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance.

8. Prior to issuance of Certificate of Occupancy, the applicant shall remove the unpermitted full bathroom and any existing unpermitted utilities to the source, and that no living space be created in the crawl space which does not meet the minimum ceiling height (7'-6") for habitable area.
9. Prior to permit issuance for the proposed addition, the applicant shall record a deed restriction on the property that the ground floor crawl space shall not be converted into habitable space without proper authorization from the Community Development Department.
10. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning, Building, and Public Services staff to ensure compliance with the conditions of approval during the construction process.
11. Prior to Final Inspection, the site shall be landscaped according to the plans approved by the Planning Commission on September 20, 2016 and any site landscaping damaged during construction shall be replanted to the satisfaction of the Community Development Director.
12. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.
13. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.
14. Comply with the most current version of the California Codes, including the California Residential Code.

Public Services Department – (650) 616-7065

15. The front property line is located 2.0 feet behind the sidewalk on Florida Avenue. No fences, retaining walls, or other permanent structure shall be placed or constructed within this 2.0 foot area. S.B.M.C. 8.08.010.
16. Please include on the site plan all existing and proposed elevations and slopes for the drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
17. Please provide a construction detail of the Open French Drain and show on plans how storm water will be discharged from the Drain. Foundations shall be protected from storm water and drainage onto adjacent properties shall not be allowed. Indicate on plans any pipes, swales, applicable ground percolation treatments or under sidewalk curb drains as necessary.
18. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City

Standards Detail SS-02, dated June 2015. Older clean outs not meeting current City standards shall be replaced.

19. Planting of one 36-inch box size approved tree or payment to the in-lieu replacement tree fund per most current fee schedule is required. Tree shall be located on Reid Avenue per SBMC 8.24.060. At the current rate, the impact payment required is \$540. A separate tree-planting permit is required from Parks Division for any new street tree.
20. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property not caused by a City street tree shall be removed and replaced. Show on the plans the replacement of any locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010.
21. Obtain an Encroachment Permit from Public Works Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of any building permits.
22. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing water meter is sufficient to serve proposed water demand. If existing meter is undersized a new meter will be required including water and sewer capacity charges based on the size of the new water meter installed along with materials and installation charges for an upgraded water meter. Please indicate on the plans the location and size of the existing water meter and the available water pressure at the property. For additional information, attached are Calculation Procedures and the estimated water pressure available near the property is 95 psi static. S.B.M.C. 10.14.020/110.
23. Prior to final inspection, paint the address number on face of the curb near the driveway approach with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted.
24. An erosion control plan and storm water pollution prevention plan is required. The applicant shall show existing storm drain inlets and other storm water collection locations protected by silt screens or silt fence. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
25. Show on plans how storm water shall be collected from downspouts and other on-site drainage and drained into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary and confirm that the new stairwell structure will not block existing surface drainage patterns.
26. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for review.

Fire Department – 650-616-7096

27. Address numbers to be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
28. Provide hard-wired smoke detectors with battery backup as required by building code.
29. Provide spark arrester for chimney if not currently in place.

EXHIBITS

- A:** Site Location
- B:** Photographs
- C:** Reduced Plans
- D:** Colors and Materials
- E:** Green Building Statement

139 Florida Avenue
APN: 020-375-130
UP-15-001

Exhibit A: Site Location



Subject Site



East side yard and Detached Garage



Side to the West



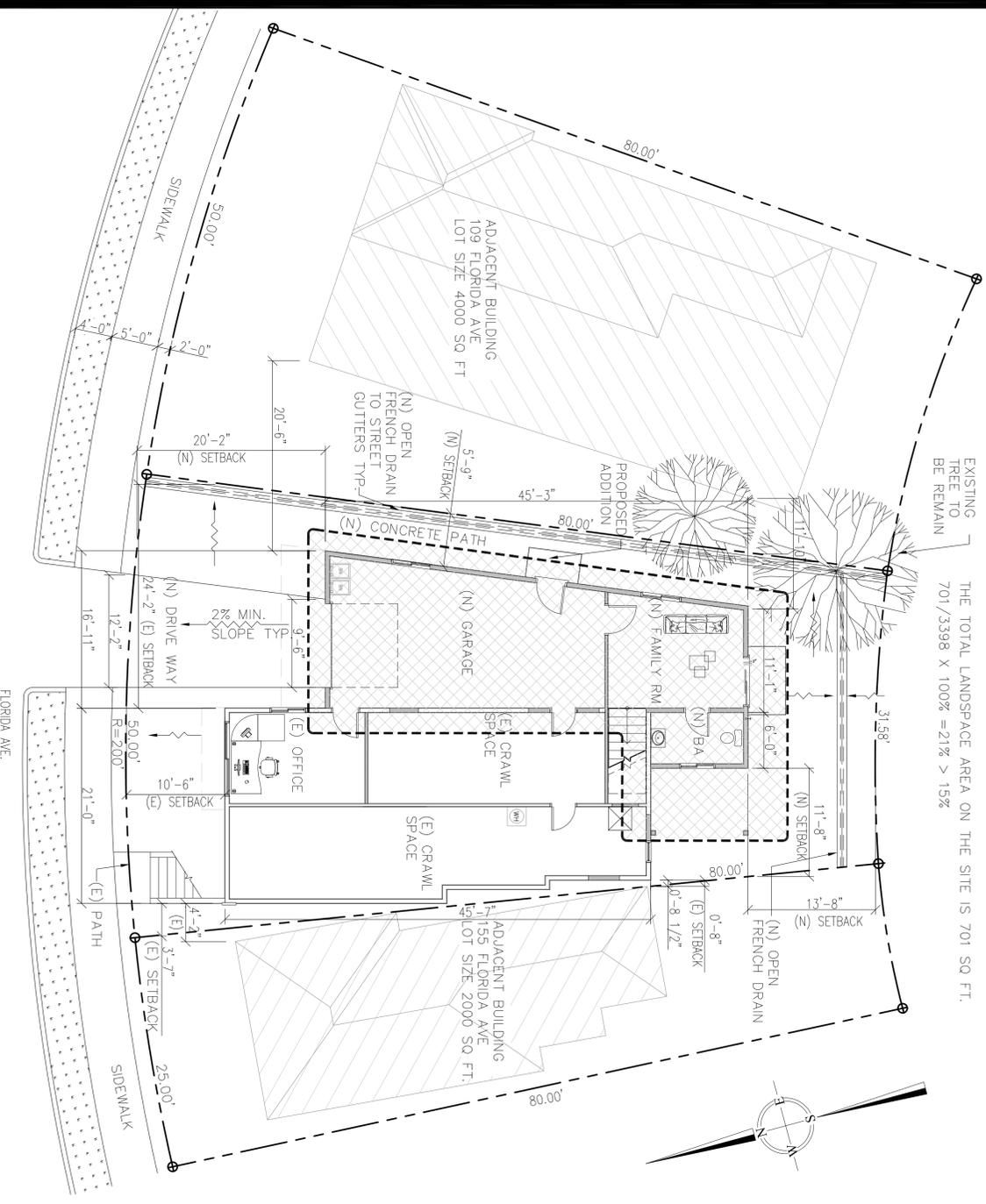


Across the Street

LAU'S RESIDENCE ROOM ADDITION AND REMODEL

139 FLORIDA AVE. SAN BRUNO, CA 94066

TOTAL FRONT YARD AREA 680 SQ FT
 TOTAL PAVED AREA = 225 SQ FT
 225/680 X 100% = 33% < 60%
 TOTAL FRONT LANDSCAPE AREA = 455 SQ FT
 THE TOTAL LANDSCAPE AREA ON THE SITE IS 701 SQ FT.
 701/3398 X 100% = 21% > 15%



SITE PLAN
 Scale: 1/8"=1'-0"

PROJECT DATA

APR. 020-375-130
 NON SPRINKLERED BLDG
 1. BUILDING TYPE: TYPE V-B
 2. BLOCK # 20 LOT # 13
 3. ZONING: R2
 4. REQUIRED SETBACK: FRONT 15 FT.
 FRONT AT GARAGE 20 FT.
 SIDE 5 FT, BACK 10 FT
 5. THE SLOPE OF EXISTING LOT: 0% (FLAT LOT)

LOT SIZE	3998 SQ FT.
(E) LIVING AREA (UP FLR)	860 SQ FT.
(E) DETACHED GARAGE (DEMO)	+ 210 SQ FT.
(E) TOTAL	= 1070 SQ FT.
(E) OFFICE (O/S/R)	140 SQ FT.
(E) BAKSTO (O/S/R DEMO)	74 SQ FT.
(N) LIVING AREA (UP/SR)	655 SQ FT.
(N) LIVING AREA (O/S/R)	215 SQ FT.
(N) GARAGE AREA	+ 426 SQ FT.
(N) TOTAL	= 2296 SQ FT.
(N) BLDG. HEIGHT	20'-2"
(E) REAR DECK AREA (DEMO)	166 SQ FT.
(E) FRONT PORCH	69 SQ FT.
(E) BLDG. LOT COVERAGE	860+210+69+166
	= 1305 SQ FT.
(N) REAR DECK	135 SQ FT.
(N) BLDG. LOT COVERAGE	860+69+655+135
	= 1719 SQ FT.
MAX. PERMITTED FLR AREA	3998 X 1.08 X 0.95
	= 2375 SQ. FT.
MAX. ALLOWABLE LOT COVERAGE	= 2375 X 0.85
	= 2019 SQ FT.

PROPERTY OWNER: LAU SHUI BEN
 139 FLORIDA AVE.
 SAN BRUNO, CA
 DESIGNER: CIBOTTI ENGINEERING
 10888 PEERLESS CT
 OAKLAND, CA 94603
 (415) 261-8286

FLOOR AREA

(E) LIVING AREA (UP FLR)	860 SQ FT.
(E) OFFICE (O/S/R)	140 SQ FT.
(N) LIVING AREA (UP/SR)	655 SQ FT.
(N) LIVING AREA (O/S/R)	215 SQ FT.
TOTAL LIVING AREA	= 1870 SQ FT.
(N) GARAGE AREA	+ 426 SQ FT.
TOTAL	= 2296 SQ FT.

PROJECT DESCRIPTION:

- ADD A 2 CAR GARAGE AND A FAMILY RM ON 1ST FLR.
- ADD 2 BED RM, 2 BA, & 2 W.I.C. ON 2ND FLR.
- REMODEL EXISTING BED RM, BA, KITCHEN & DINING ON 2ND FLR.
- REMOVE ALL ILLEGAL BA & CLOSET ON 1ST FLR.

GENERAL NOTES:

1. CONSTRUCTION IS PROHIBITED BETWEEN 7:00 PM TO 7:00 AM AND SUNDAY AND HOLIDAYS.
2. THE CONTRACTOR SHALL VERIFY ALL PROPERTY LINE LOCATIONS, DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN OR NOT TO PROTECT THEM FROM DAMAGE.
3. ALL INFORMATION SHOWN ON THE DRAWINGS RELATING TO EXISTING CONDITIONS ARE GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY, WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWING, IT SHALL BE REPORTED TO THE OWNER AND ENGINEER, SO THE PROPER REVISIONS MAY BE MADE.

DRAWING INDEX:

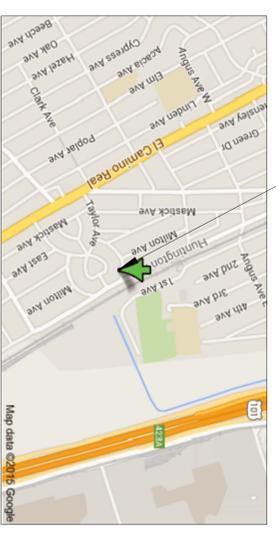
- A.0 : SITE PLAN
- A.1 : EXISTING AND DEMOLISHED PLAN
- A.2 : EXISTING ELEVATIONS
- A.3 : PROPOSED FLOOR PLANS
- A.4 : PROPOSED ELEVATIONS
- A.5 : PROPOSED SECTION & WINDOWS & DOORS SCHEDULE
- A.6 : PROPOSED LANDSCAPE & IRRIGATION PLAN

LEGEND :

- NEW ADDITION
- PROPERTY LINE
- OPEN FRENCH DRAIN
- EXISTING SIDEWALK LAWN
- SHEET FLOW

CODE COMPLIANCE

- ALL WORK SHALL BE COMPLIANCE WITH THE CITY OF SAN BRUNO CODES AND ALL OTHER APPLICABLE CODES
1. 2013 CALIFORNIA BUILDING CODE
 2. 2013 CALIFORNIA PLUMBING CODE
 3. 2013 CALIFORNIA MECHANICAL CODE
 4. 2013 CALIFORNIA ELECTRICAL CODE
 5. 2013 CALIFORNIA ENERGY CODE
 6. 2013 CALIFORNIA RESIDENTIAL CODE
 7. 2013 CALIFORNIA FIRE CODE



VICINITY MAP
 Scale: N.T.S.

CIBOTTI ENGINEERING
 10888 PEERLESS CT.
 OAKLAND, CA 94603
 TEL: (415) 261-8286
 E-MAIL: luecho@aol.net

10-13-2015	2nd Submission	Approved
10-13-2015	2nd Submission	Approved
02-22-2016	3rd Submission	Approved

Residential Addition & Remodel
 139 Florida Ave.
 San Bruno, CA 94066



STAMP

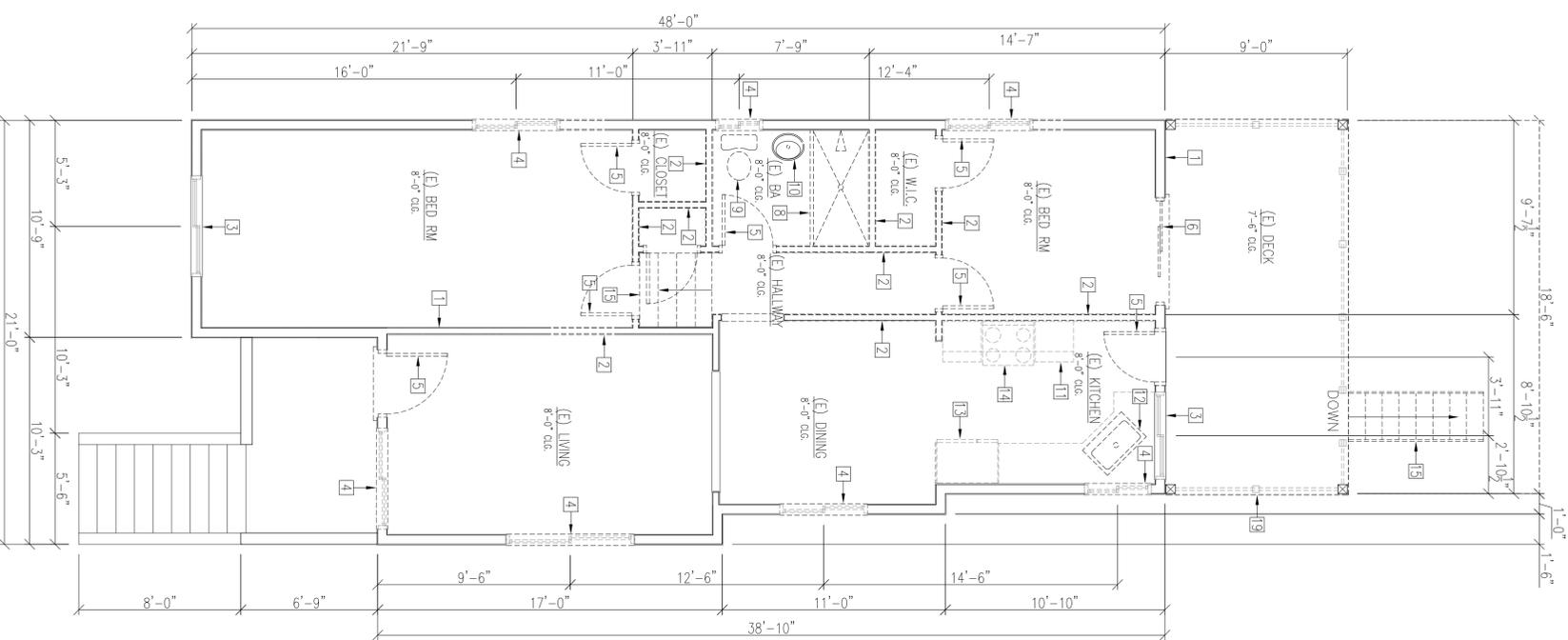
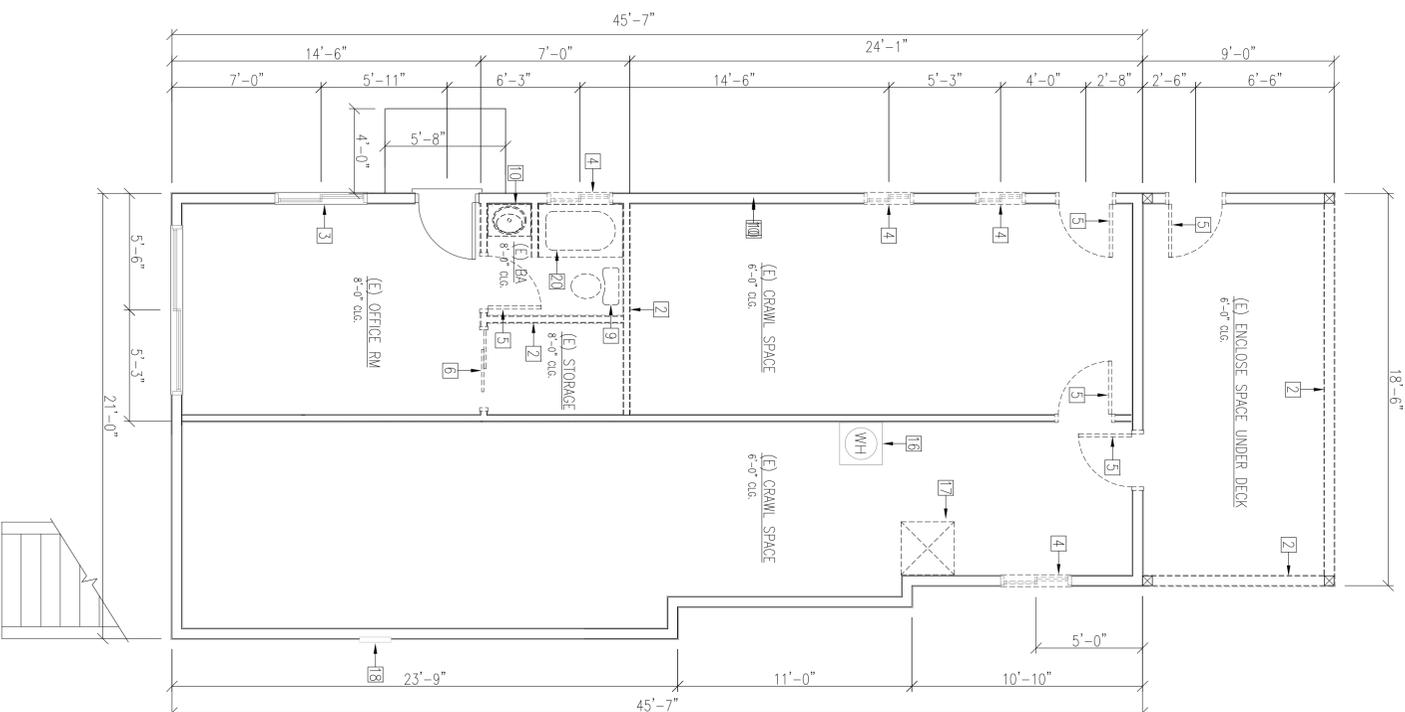
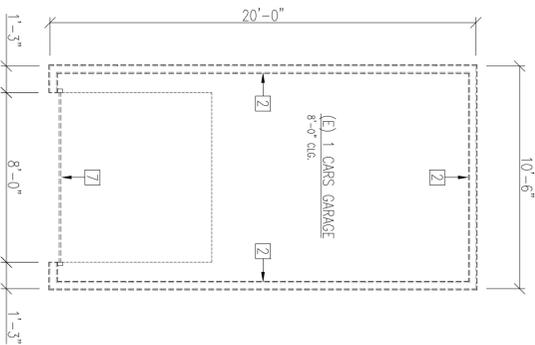
Site Plan

PA/PM:	EL
DRAWN BY:	EL
JOB No:	0112

A.0

FLOOR PLAN KEY NOTES

- 1 EXISTING 2x STUD TO BE REMAIN
- 2 EXISTING 2X STUD WALL TO BE DEMOLISHED
- 3 EXISTING WINDOW TO RE REMAIN
- 4 EXISTING WINDOW TO BE REMOVED
- 5 EXISTING HINGED DOOR TO BE REMOVED
- 6 EXISTING SLIDING DOOR TO BE REMOVED
- 7 EXISTING GARAGE DOOR TO BE REMOVED
- 8 EXISTING SHOWER TO BE REMOVED
- 9 EXISTING TOILET TO BE REMOVED
- 10 EXISTING LAVATORY TO BE REMOVED
- 11 EXISTING RANGE TO BE RELOCATED
- 12 EXISTING KITCHEN SINK TO BE REMOVED
- 13 EXISTING REFRIGERATOR TO BE RELOCATED
- 14 EXISTING KITCHEN COUNTERTOP TO BE REMOVED
- 15 EXISTING STAIR TO BE DEMOLISHED
- 16 EXISTING WATER HEATER
- 17 (E) FURNACE AT CRAWL SPACE BE RELOCATED
- 18 EXISTING ELECT PANEL 125 AMP SERVICE TO BE RELOCATED
- 19 EXISTING RAILING TO BE DEMOLISHED
- 20 EXISTING BUTHTUB TO BE REMOVED



EXISTING AND DEMOLISHED GARAGE PLAN

Scale: 1/4"=1'-0"

EXISTING AND DEMOLISHED 1ST FLOOR PLAN

Scale: 1/4"=1'-0"

EXISTING AND DEMOLISHED 2ND FLOOR PLAN

Scale: 1/4"=1'-0"

CIBOTTI ENGINEERING

10868 PEERLESS CT.
OAKLAND, CA 94603
TEL: (415) 261-8286
E-MAIL: luccho@att.net

10-13-2015	Professional Seal/Stamp
10-13-2015	2nd Set/Stamp
02-22-2016	3rd Set/Stamp

Residential Addition & Remodel
139 Florida Ave.
San Bruno, CA 94066



STAMP

EXISTING & DEMOLISHED FLOOR PLANS

PAP/PM:	EL
DRAWN BY:	EL
JOB No:	0112

A.1

**CIBOTTI
ENGINEERING**

10868 PEERLESS CT.
OAKLAND, CA 94603
TEL.: (415) 261-8286
E-MAIL: iuecho@aol.net

10-13-2015	Professional Seal/Stamp
10-13-2015	2nd Submission
02-22-2016	3rd Submission

**Residential Addition
& Remodel**
139 Florida Ave.
San Bruno, CA 94066



STAMP

**PRO. SEC.
WINDOW &
DOOR SCHDL.**

P&P/M:	EL
DRAWN BY:	EL
JOB No:	0112

A.5

WINDOW SCHEDULE

#	SIZE	TYPE	FENESTRATION	U-VALUE	FRAME	FINISH	HARDWARE	QUANTITY	NOTES
1	42" X 48"	SLIDING	SAFETY	0.30	VINYL	PAINT GRADE	BRUSHED METAL	1	TEMP
2	48" X 48"	SLIDING	SAFETY	0.30	VINYL	PAINT GRADE	BRUSHED METAL	4	TEMP
3	36" X 48"	SLIDING	SAFETY	0.30	VINYL	PAINT GRADE	BRUSHED METAL	6	TEMP
4	42" X 30"	SLIDING	SAFETY	0.30	VINYL	PAINT GRADE	BRUSHED METAL	3	TEMP
5	36" X 48"	SLIDING	SAFETY	-	VINYL	PAINT GRADE	BRUSHED METAL	1	EXISTING
6	36" X 36"	SLIDING	SAFETY	-	VINYL	PAINT GRADE	BRUSHED METAL	1	EXISTING
7	72" X 48"	SLIDING	SAFETY	-	VINYL	PAINT GRADE	BRUSHED METAL	1	EXISTING
8	60" X 48"	SLIDING	SAFETY	-	VINYL	PAINT GRADE	BRUSHED METAL	1	EXISTING
9	48" X 36"	SLIDING	SAFETY	-	VINYL	PAINT GRADE	BRUSHED METAL	1	EXISTING
10	96" X 48"	SLIDING	SAFETY	-	VINYL	PAINT GRADE	BRUSHED METAL	1	EXISTING
11	36" X 24"	SLIDING	-	-	VINYL	PAINT GRADE	BRUSHED METAL	1	EXISTING

WINDOWS MANUFACTURED BY JELD WEN
AVAILABLE AT:
Associated Building Supply, Inc.
702 Harrison Street Ste C
Berkeley, CA 94710

DOOR SCHEDULE

#	SIZE	TYPE	FENESTRATION	FRAME	FINISH	HARDWARE	QUANTITY	NOTES
A	36" X 84"	EXTERIOR/HINGED	SAFETY	WOOD	PAINT GRADE	BRUSHED METAL	1	-
B	36" X 80"	INTERIOR/HINGED	SAFETY	WOOD	PAINT GRADE	BRUSHED METAL	4	-
C	32" X 80"	INTERIOR/HINGED	SAFETY	WOOD	PAINT GRADE	BRUSHED METAL	5	-
D	72" X 82"	EXTERIOR/PATIO	SAFETY	WOOD	PAINT GRADE	BRUSHED METAL	2	-
E	60" X 82"	INTERIOR/CLOSET	N/A	WOOD	PAINT GRADE	BRUSHED METAL	1	-
F	30" X 66"	GRAML SPACE/HINGED	N/A	WOOD	PAINT GRADE	BRUSHED METAL	2	-
G	36" X 80"	EXTERIOR/HINGED	SAFETY	WOOD	PAINT GRADE	BRUSHED METAL	1	-
H	108" X 84"	EXTERIOR/GARAGE	SAFETY	WOOD	PAINT GRADE	BRUSHED METAL	1	-

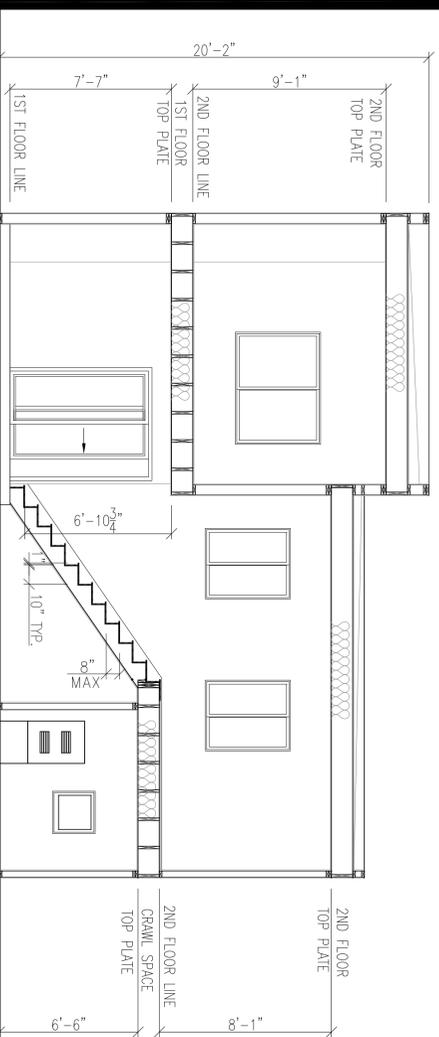
DOORS MANUFACTURED BY SIMPSON DOOR CO.
AVAILABLE AT:
Economy Lumber Co.
750 High St.
Oakland, CA 94601

WINDOW NOTES

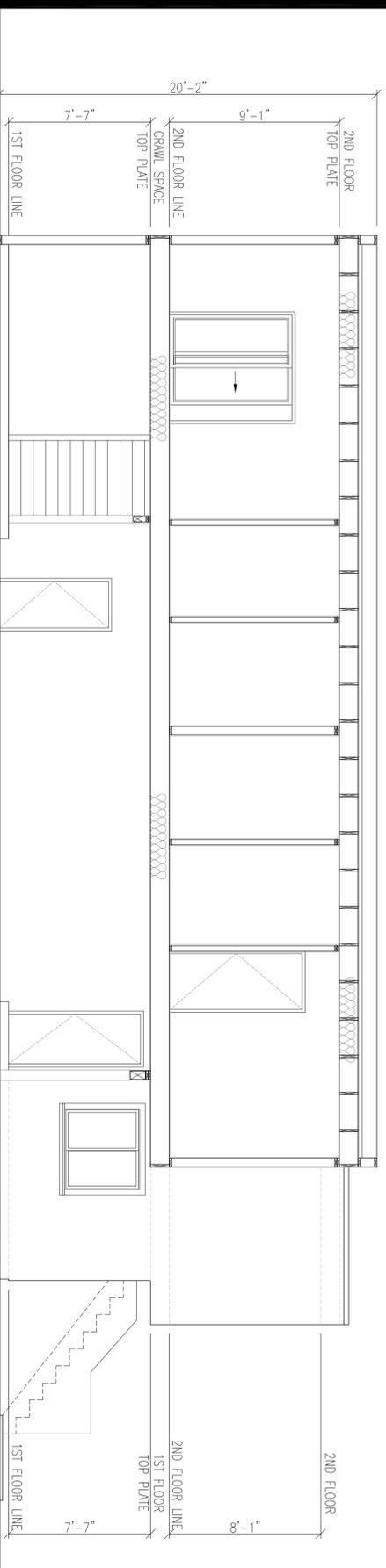
- REFER TO PLANS FOR WINDOW SWING DIRECTIONS.
- ALL WINDOWS SHALL BE SOLID WOOD CORE AND GLAZED WITH LOW-E GLASS UNLESS IN AN AREA WHERE TEMPERED/SECURITY GLASS IS REQUIRED (SEE PLANS AND GENERAL NOTES FOR SUCH LOCATIONS)
- ALSO TOP OF DOOR (UNLESS NOTED OTHERWISE) SHALL BE FINISHED TO MATCH FINISH OF WINDOWS (UNLESS OTHERWISE NOTED PER PLANS)
- SHOP DRAWINGS OF ALL WINDOWS MUST BE SUBMITTED AND APPROVED BY DESIGNER PRIOR TO FABRICATION.
- ALL OPERABLE WINDOWS SHALL BE EQUIPPED WITH SECURITY DEVICES.
- ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MIN. NET CLEAR OPEN AREA OF 5.7" A MIN. NET CLEAR OPEN HEIGHT AREA DIMENSION OF 24" AND A MIN. NET CLEAR WIDTH AREA DIMENSION OF 20"
- FOR ALL EMERGENCY ACCESS/EGRESS WINDOW LOCATIONS SEE PLANS (ITEM #14 ON FLOOR PLANS, ITEM #15 ON EXTENSION ELEVATIONS)

DOOR NOTES

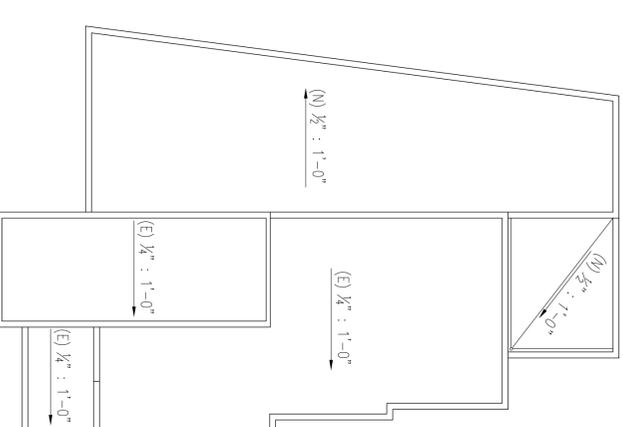
- REFER TO PLANS FOR DOOR SWING DIRECTIONS
- REFER TO GENERAL NOTES FOR SECURITY REQUIREMENTS OF INGRESS/EGRESS OPENINGS AND DOORS.
- ROUGH OPENINGS (R.O.) FOR EXTERIOR DOORS SHALL COMPLY WITH MFG'S RECOMMENDATIONS AND CO-ORDINATED WITH DESIGNER FOR SPECIFIC SITE CONDITIONS.
- ALL INTERIOR DOORS THROUGH WHICH OCCUPANTS ENTER/EXIT MUST BE A MIN. OF 2'-0" WIDE.
- GLAZING IN HAZARDOUS AREAS MUST BE TEMPERED:
A) INGRESS/EGRESS DOORS
B) PANELS IN SLIDING OR SWINGING DOORS
C) DOORS AND ENCLOSURES FOR HOT TUBS, BATH TUBS, SHOWERS AND WALL ENCLOSING THESE COMPARTMENTS WITHIN 5'-0" OF STANDING SURFACE.
D) WITHIN 2'-0" OF VERTICAL EDGE OF DOOR AND WITHIN 5'-0" OF STANDING SURFACE.
- DOOR @ SHOWER ENCLOSURE MUST SWING OUTWARD



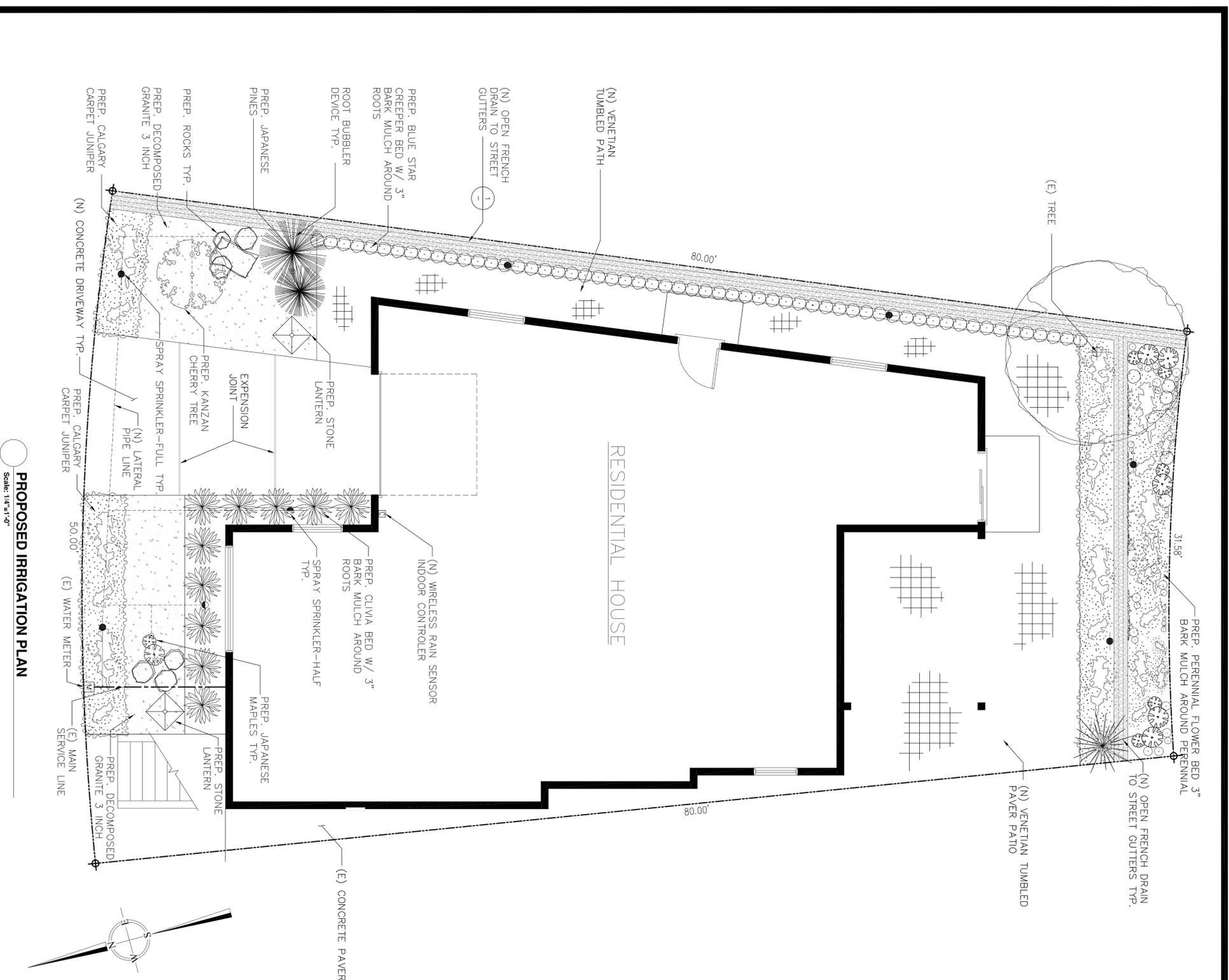
1
PROPOSED SECTION
Scale: 1/4"=1'-0"



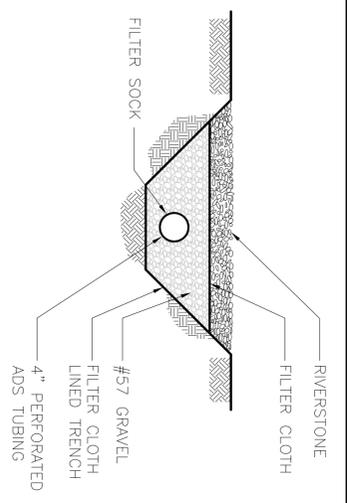
2
PROPOSED SECTION
Scale: 1/4"=1'-0"



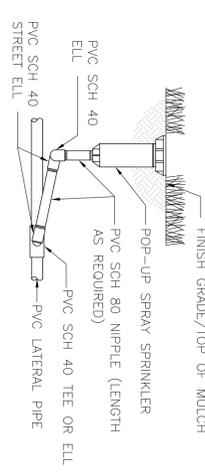
PROPOSED ROOF PLAN
Scale: 1/8"=1'-0"



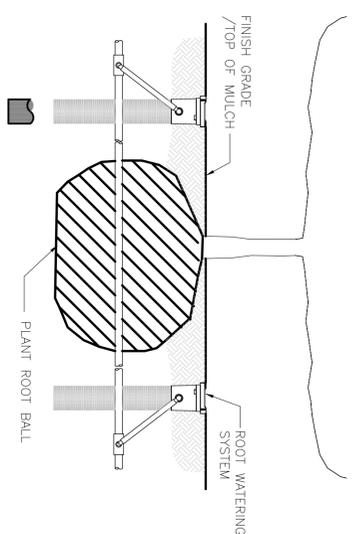
PROPOSED IRRIGATION PLAN
Scale: 1/4"=1'-0"



1 OPEN FRENCH DRAIN
Scale: NTS



2 POP-UP SPRAY SPRINKLER
Scale: NTS



3 ROOT WATER SYSTEM
Scale: NTS

NOTES:

TOTAL FRONT YARD AREA 680 SQ FT
TOTAL PAVED AREA = 225 SQ FT
225/680 X 100% = 33% < 60%
TOTAL FRONT LANDSCAPE AREA = 455 SQ FT

THE TOTAL LANDSPACE AREA ON THE SITE IS 701 SQ FT.
701/3398 X 100% = 21% > 15%

IRRIGATION NOTES

1. INSTALL POP-UP SPRINKLER HEADS POSITIONED WITHIN SHRUB OR GROUND COVER AREAS WITH THE TOP OF SPRINKLER ABOVE FINISH GRADE AS SHOWN IN THE DETAILS.
2. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE OF AREA TO BE IRRIGATED UNLESS INDICATED OTHERWISE ON DRAWINGS.
3. WHEN VERTICAL OBSTRUCTIONS (SITE HARDSCAPE ELEMENTS, FIRE HYDRANTS, TREES, LIGHT POLES, ETC.) INTERFERE WITH THE SPRINKLER HEAD PATTERN OF COVERAGE, ADJUST SPRINKLER SYSTEM LAYOUT BY INSTALLING A QUARTER CIRCLE, HALF CIRCLE OR ADJUSTABLE CIRCLE SPRINKLER HEAD ON EACH SIDE OF OBSTRUCTION IN ORDER TO PROVIDE PROPER COVERAGE. PERFORM SPRINKLER LAYOUT ADJUSTMENT AT NO COST TO THE OWNER.
4. SPRINKLER SYSTEM WILL BE BASED ON MINIMUM PRESSURE AND MAXIMUM FLOW DEMAND SHOWN ON IRRIGATION DRAWINGS. REFER TO POINT-OF-CONNECTION NOTES, VERIFY PERMANENT WATER PRESSURE BEFORE THE START OF CONSTRUCTION. REPORT DIFFERENCES BETWEEN WATER PRESSURE INDICATED ON DRAWINGS AND ACTUAL SITE PRESSURE READING AT IRRIGATION POINT-OF-CONNECTION TO OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, ASSUME FULL RESPONSIBILITY FOR REVISIONS.
5. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. PREVENT OVERSPRAY ONTO WALKS, ROADWAYS, WALLS, FENCES AND BUILDINGS. SELECT THE MOST APPROPRIATE PART CIRCLE PATTERN NOZZLE TO FIT THE SITE CONDITIONS AND THROTTLE THE FLOW CONTROL ADJUSTMENT AT EACH CONTROL VALVE TO OBTAIN OPTIMUM SPRINKLER HEAD PRESSURE.
6. DO NOT WILLFULLY INSTALL SPRINKLER SYSTEM AS INDICATED ON DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT EXISTING OBSTRUCTIONS, GRADE DIFFERENCES IN AREA DIMENSIONS, AND OTHER SITE SPECIFIC INFORMATION THAT MIGHT NOT HAVE BEEN CONSIDERED DURING DESIGN, NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE OF SUCH OBSTRUCTIONS OR DIFFERENCES FOR RESOLUTION. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, ASSUME FULL RESPONSIBILITY FOR REVISIONS.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH GRADE DIFFERENCES, WALL/HARDSCAPE LOCATIONS, ETC. COORDINATE WORK FOR THE INSTALLATION OF IRRIGATION PIPE SLEEVES THROUGH WALLS UNDER PAVEMENT AND STRUCTURES, ETC.
8. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SUFFICIENTLY SIZED SLEEVES FOR CONTROL WIRES AND NON-PRESSURE LATERAL LINE PIPING UNDER PAVED AREAS, IN ADDITION TO CONTROL WIRES AND LATERAL LINE PIPING SLEEVES SHOWN ON THE DRAWINGS.
9. INSTALL PIPING, RELATED MATERIALS AND EQUIPMENT AS SHOWN ON THE DRAWINGS. USE TEFELON TAPE ON PVC MALE PIPE THREADS, INCLUDING SPRINKLER SWING JOINT AND VALVE ASSEMBLIES. DO NOT USE PIPE DOPE.
10. TEST ALL PRESSURE MAIN LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR A PERIOD OF 3 HOURS. TESTING OF PRESSURE MAIN LINE PIPING SHALL OCCUR PRIOR TO THE INSTALLATION OF ANY ELECTRIC CONTROL VALVE, BASKET STRAINERS, QUICK COUPLING VALVES AND OTHER PRESSURE-SIDE IRRIGATION FACILITIES. PRESSURE TESTING RESULTS SHALL BE SUBMITTED TO OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO BACKFILLING.
11. PROVIDE DRIPLINE EMITTER TUBING SYSTEM FOR PLANTING AREAS AS SHOWN ON DRAWINGS.
12. INSTALL DRIPLINE TUBING AND NON-PRESSURE LATERAL LEAD LINE PIPING IN LANDSCAPE AREAS AND ADJACENT TO SELECTED PLANT MATERIAL AS SHOWN IN DETAILS.
13. REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTER SPACING, AND ADDITIONAL INFORMATION.
14. DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND SCHEDULE 80 PVC PIPING ROUTING THROUGH PLANTER WALLS. ADAPT DRIPLINE TUBING TO PVC PIPING AS REQUIRED WITH COMPRESSION ADAPTER FITTINGS.
15. CONNECT DRIPLINE PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS AND COMPRESSION ADAPTER FITTINGS.
16. PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING TO TUBING CONNECTIONS AND CONNECTIONS TO PVC PIPING AS INDICATED IN THE EQUIPMENT LEGEND THIS SHEET.

CIBOTTI ENGINEERING

10868 PEERLESS CT.
OAKLAND, CA 94603
TEL: (415) 281-8286
E-MAIL: lic@ci.net

DATE	DESCRIPTION	BY
10-13-2015	Preliminary Schedule	
12-21-2015	2nd Submittal	
02-22-2016	3rd Submittal	

Residential Addition & Remodel
139 Florida Ave.
San Bruno, CA 94066



PROPOSED LANDSCAPE IRRIGATION PLAN

P&P/M:	EL
DRAWN BY:	EL
JOB NO.:	0112

A.6

EXHIBIT D

COLOR BOARD



Cement lap siding
Color: Ginger tea



White vinyl window



Dark Crimson (Garage door color)



Ginger tea (Gutters & downspouts colors)



Black iron railing

EXHIBIT E



City of San Bruno
 Building Safety Division
 567 El Camino Real
 San Bruno, CA 94066

Permit Center: (650) 616-7076
 Inspection Request: (650) 616-7074
 Fax: (650) 873-6749

2013 CALIFORNIA GREEN BUILDING STANDARD CODE (CGC) RESIDENTIAL CHECKLIST

New residential buildings shall be designed to include the green building mandatory measures specified in this checklist. This checklist shall also be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to the specific area of the addition or alteration.

BUILDING PERMIT NO.: _____
 ADDRESS: _____

**MANDATORY
 MEASURES
 SPECIFIED**
 (Please check
 boxes below)

Feature or Measure	Yes
SITE DEVELOPMENT	
A plan has been developed and will be implemented to manage storm water drainage during construction per CGC 4.106.2 & 4.106.3	<input type="checkbox"/>
WATER EFFICIENCY AND CONSERVATION	
Plumbing fixtures (Water closets and urinals) shall comply with the following:	
The effective flush volume of all water closets shall not exceed 1.28 gal/flush (CGC 403.1.1)	<input type="checkbox"/>
The effective flush volume of urinals shall not exceed 0.5 gal/flush (CGC 403.1.2)	<input type="checkbox"/>
Fittings (faucets and showerheads) have all required standards listed on plans and are in accordance to CGC 4.303.1.3 and CGC 403.1.4	<input type="checkbox"/>
Automatic irrigation system controller for landscaping provided by the builder and installed at the time of final inspection shall comply with CGC 4.304	<input type="checkbox"/>
ENHANCED DURABILITY AND REDUCED MAINTENANCE	
Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be rodent proofed by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency per CGC 4.406.1	<input type="checkbox"/>
CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING	
A minimum of 65% of the non-hazardous construction and demolition waste generated at the site shall be diverted to an offsite recycle, diversion, or salvage facility per CGC 4.408	<input type="checkbox"/>
BUILDING MAINTENANCE AND OPERATION	
An operation and maintenance manual will be provided to the building occupant or owner per CGC 4.410.1	<input type="checkbox"/>
ENVIRONMENTAL QUALITY	
Any gas fireplaces shall be a direct-vent sealed-combustible type.	<input type="checkbox"/>
Any wood stove or pellet stove shall comply with US EPA Phase II emission limits per CGC 4.503.1	<input type="checkbox"/>
POLLUTANT CONTROL	
At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution components openings shall be covered with tape, plastic, sheet metals, or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris, which may enter the system per CGC 4.504.1.	<input type="checkbox"/>
Adhesive, sealants and caulks shall meet the VOC or other toxic compound limits per CGC 4.504.2.1.	<input type="checkbox"/>
Paints and coatings shall comply with VOC limits per CGC 4.504.2.2.	<input type="checkbox"/>
Aerosol paints and coatings shall meet the Product-weighted MIR limits for ROC and other requirements per CGC 4.504.2.3.	<input type="checkbox"/>
Documentation will be provided, at the request of the Building Division, to verify compliance with VOC finish materials per CGC 4.504.2.4.	<input type="checkbox"/>
Carpet system installed in the building interior shall meet the testing and product requirement per CGC 4.504.3.	<input type="checkbox"/>
Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the requirements per CGC 4.504.4.	<input type="checkbox"/>
Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior and exterior of the building shall comply with the low formaldehyde emission standards per CGC 4.504.5.	<input type="checkbox"/>

Feature or Measure	Yes
INTERIOR MOISTURE CONTROL	
A capillary break shall be installed if a slab on grade foundation system is used. The use of a 4" thick base of 1/2" or larger clean aggregate under a 6 mil vapor retarder with joint lapped not less than 6" will be provided per CGC 4.505.2 and CRC R506.2.3.	<input type="checkbox"/>
Building materials with visible signs of water damage shall not be install. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be checked prior to finish material being applied per CGC 4.505.3.	<input type="checkbox"/>
INDOOR AIR QUALITY AND EXHAUST	
Exhaust fans, which are ENERGY STAR compliant and be ducted to terminate outside the building, shall be provided in every bathroom per CGC 4.506.1.	<input type="checkbox"/>
ENVIRONMENTAL COMFORT	
Heating and air-conditioning system shall be sized, designed and have their equipment selected using the following methods: 1. Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2004 or equivalent; 2. Duct systems are sized according to ANSI/ACCA 1, Manual D-2009 or equivalent; 3. Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2004 or equivalent.	<input type="checkbox"/>
INSTALLER AND SPECIAL INSPECTOR QUALIFICATION	
HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognize training or certification program per CGC 702.1.	<input type="checkbox"/>
VERIFICATION	
Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the building department which will show substantial conformance.	<input type="checkbox"/>

Responsible Designer's Declaration Statement	Contractor Declaration Statement
I hereby certify that this project has been designed to meet the requirements of the 2013 California Green Building Standards Code.	I hereby certify, as the builder or installer under the permit listed herein, that this project will be constructed to meet the requirements of the California Green Building Standards Code.
Name:	Name:
Signature:	Signature:
Date:	Date:
Company:	License:
Address:	Address:
City: State: Zip:	City: State: Zip:



567 El Camino Real
San Bruno, CA 94066
Voice: (650) 616-7074
Fax: (650) 873-6749
www.sanbruno.ca.gov

STAFF

David Woltering, AICP, *Community Development Director*
Mark Sullivan, AICP, *Housing & Redevelopment Manager*
Michael Smith, *Senior Planner*
Matt Neuebaumer, *Associate Planner*
Megan Wooley-Ousdahl, AICP, *Associate Planner*
Matt Jones, *Contract Assistant Planner*
Marc Zafferano, *City Attorney*

PLANNING COMMISSION

Rick Biasotti, *Chair*
Marie Kayal, *Vice-Chair*
Kevin Chase
Mary Lou Johnson
Sujendra Mishra
Perry Petersen
Joe Sammut

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. 5.E.
September 20, 2016**

Project Address: (Caltrans Property at the northwest corner of San Bruno Avenue West and Glenview Drive)

Assessor's Parcel No: 019-043-490

Application No.: TUP-16-005

Zoning District: C-N, Neighborhood Commercial

General Plan Classification: Parks/Open Space

Project Applicant: City of San Bruno

Prepared by: Matt Neuebaumer, (650) 616-7042

REQUEST

Request for a Temporary Use Permit to allow an off-site construction staging area within the Crestmoor neighborhood per Section 12.84.030 of the San Bruno Municipal Code. City of San Bruno (Applicant); State of California (Owner).

RECOMMENDATION

Staff recommends that the Planning Commission approve Temporary Use Permit 16-005, based on Findings 1-3 and Conditions of Approval 1-12.

PROJECT DESCRIPTION

In the aftermath of the September 9, 2010 PG&E gas pipeline explosion and fire, the City of San Bruno is committed to rebuilding the Crestmoor (Glenview) Neighborhood that was impacted by this event. The explosion and fire destroyed 38 homes and severely damaged another 17. In addition, much of the City's infrastructure in the neighborhood suffered severe damage. The infrastructure work within the neighborhood includes the replacement of underground utilities (water, sewer, and storm drainage), repair and replacement of street, sidewalks, and streetlights, and the replacement of the Earl/Glenview Park.

A Temporary Use Permit (TUP) was originally approved for this site in April 2012 for the area referred to in Exhibit D as Storage Yard 1. In April 2013 the TUP was extended for an additional year. Then in June 2013, the Planning Commission approved a request to expand the construction staging area to include Storage Yard 2, as depicted in Exhibit D. In May 2014, the Planning Commission approved a request to extend the TUP for Storage Yard 1 and Storage Yard 2 for another year. In April 2015, the Planning Commission approved a request to extend the TUP for Storage Yard 1 and Storage Yard 2 for another year. Lastly, in May 2016, the Planning Commission approved a request to extend the TUP for Storage Yard 2 in the same manner in which it has been used. At that time, Storage Yard 1 was not needed.

However, staff has recently become aware that Caltrans plans to use the lower storage yard area (Storage Yard 2) to store horticultural grade soil for the Doyle Drive project, which is located just south of the Golden Gate Bridge. Therefore, there is now a need to utilize Storage Yard 1 for the on-going infrastructure improvements in the Crestmoor (Glenview) Neighborhood.

ENVIRONMENTAL ASSESSMENT

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15304: Minor Alterations to Land.

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on September 9, 2016.
2. Notices of public hearing were posted in at least three conspicuous places on utility poles near and adjacent to the subject site.
3. Advertisement published in the San Mateo Daily Journal, Saturday, September 10, 2016.

PUBLIC COMMENTS

Staff mailed the 300' notification on September 9, 2016. No comments have been received as of the writing of this report.

REVIEWING AGENCIES

Community Development Department
Public Services Department

EXISTING CONDITIONS

Assessor Parcel Number (APN) 019-043-490 is State of California property, located on the northwestern corner of San Bruno Avenue West and Glenview Drive. The site is undeveloped and currently provides parking for recreation area visitors at the southernmost end of the site, as well as occasional vehicle storage related to Caltrans construction, when necessary. The site measures approximately seven (7) acres. (Only a portion of the site is proposed for construction staging as described above.) The entire site belongs to Caltrans and is leased by the Church of the Highlands.

SURROUNDING LAND USES

North: Estates Drive, R-1 Single Family Residential
South: San Bruno Avenue West, C-N Neighborhood Commercial
East: Glenview Drive, R-1 Single Family Residential
West: Skyline Boulevard, U Unclassified

ANALYSIS AND RECOMMENDATION

The Municipal Code allows construction staging areas lasting up to one year with a Temporary Use Permit from the Planning Commission. Given the schedule for infrastructure construction, staff anticipated having to return to the Planning Commission for the renewal of the Temporary Use Permit. However, the Temporary Use Permit for Storage Yard 1 was not extended at the May 17, 2016 Planning Commission meeting. Therefore, this request is technically for a new Temporary Use Permit and not a renewal of the previous Temporary Use Permit. The City of San Bruno is acting as the applicant, however, all construction will be contracted to private firms. City staff, including HB Consulting, will handle day-to-day issues related to the construction process and off-site construction.

The applicant is planning to utilize a portion of the Caltrans property, which has traditionally remained vacant with occasional storage by Caltrans or a subcontractor. During the site's recent use as a storage facility, staff has observed that there is adequate parking in the area closest to San Bruno Avenue for recreational users. Storage Yard 1 will be expanded in the westerly direction to allow for more storage space. The expansion in the westerly direction will allow for recreational users to continue to utilize the parking area closest to San Bruno Avenue, which is consistent with Condition of Approval # 11, which states, "The parking area at the corner of Glenview Drive and San Bruno Avenue shall remain available for residents that use the nearby trail and for the Church of the Highlands. Staff will continue to monitor impacts closely to try to minimize effects on nearby neighbors.

*Pursuant to the City's Municipal Code, the Commission shall grant the Temporary Use Permit if it makes the following findings (required findings are in **bold** followed by staff's analysis of the merits of the project and how the findings can be made):*

1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050)

The storage of construction materials and vehicles on the Caltrans property (APN 019-043-490) will not be detrimental to the surrounding neighborhood because the proposed use will be temporary, the applicant will be storing construction materials and vehicles on-site rather than on public streets as is typical in street upgrade projects, and the site is large enough to locate construction materials over 350'-0" away from the nearest residential properties. Any material storage will be closely monitored by City inspectors to ensure that no air quality issues are created for immediate residents. Construction hours are scheduled to be 8am until 5pm during weekdays, per the Public Services Department contract requirements. The Public Services Department only allows Saturday construction work with prior approval.

2. Will not be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the city. (SBMC 12.112.050)

Per the Conditions of Approval, the construction staging area shall be kept clean. Additionally, the applicant will be required to repair any damage that may occur to the Caltrans property, or any surrounding properties that are damaged as a result of this temporary use. Therefore, staff determines that the project will not be detrimental to improvements in the neighborhood or to the general welfare of the City.

3. Will not be inconsistent with the general plan. (SBMC 12.112.050)

The San Bruno General Plan designates the Caltrans Property (APN 019-043-490) as Parks/Open space, which permits parks, recreation facilities, and open space areas. The construction staging area is undeveloped and closed to the public. The current proposal is to continue the short-term storage related to the Crestmoor rebuilding project, which does not conflict with the General Plan designated uses.

CONDITIONS OF APPROVAL

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Temporary Use Permit 16-005 shall not be valid for any purpose. Temporary Use Permit 16-005 shall expire on September 20, 2017.
2. The request for a temporary construction staging area shall be operated according to written statement approved by the Planning Commission on September 20, 2016, labeled Exhibit C, except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
3. The storage yard entryway on Glenview Drive shall be decomposed granite or other rock that will prevent soil tracking onto Glenview Drive.
4. At all times, the storage yard gates shall be secured due to potentially high winds in the neighborhood.
5. The applicant shall maintain the construction staging area in a clean and orderly condition. Any trash, dirt, and debris shall be cleaned and removed on a daily basis and cannot be stored on-site.
6. The applicant shall not perform any maintenance of equipment at the subject site.
7. The applicant shall remove all equipment and materials and thoroughly clean the staging area and any immediate properties affected by dust or debris within 14 days of the contract notice of substantial completion.
8. Loose material storage shall be covered with a tarp except during construction hours of Monday to Friday from 8 am to 5 pm. Contractor shall use all best practices consistent with BAAQMD to minimize dust impacts to nearby residential properties.
9. The applicant shall repair any damage to the public right of way in the area used for construction staging at the end of construction.
10. The applicant shall comply with all best management practices for stormwater prevention as required by the National Pollutant Discharge Elimination System (NPDES) Permit.
11. The parking area at the corner of Glenview Drive and San Bruno Avenue shall remain available for residents that use the nearby trail and for Church of the Highlands.
12. A Caltrans approved membrane shall be installed on Storage Yard 1, if asphalt concrete pavement grindings are stockpiled on Storage Yard 1.

Date of Preparation: September 16, 2016

Prepared by: Matt Neuebaumer, Associate Planner

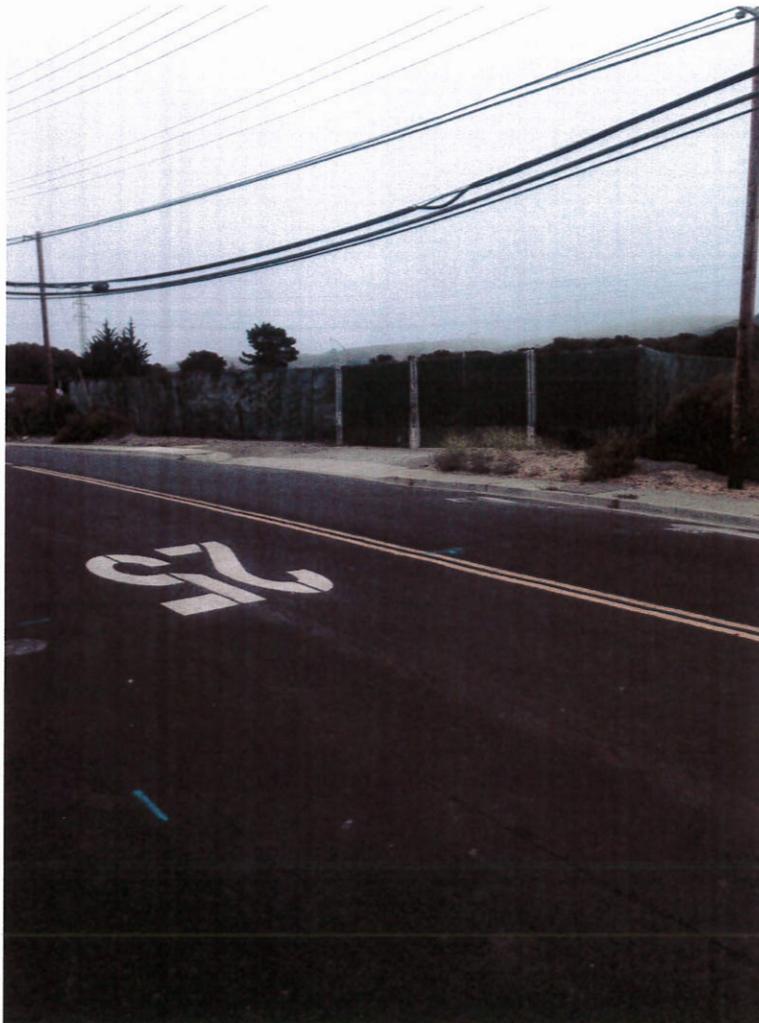
EXHIBITS

- A:** Site Location
- B:** Photographs of Subject Site
- C:** Applicant Statement
- D:** Storage Yard Location



Caltrans Property
019-043-490
TUP 16-005

Exhibit A – Site Location



Storage Yard 1 – View From
Glenview drive

Exhibit B – Photographs

Applicant Statement

Portions of the City's "infrastructure" within the Crestmoor neighborhood suffered damage from the pipeline explosion and fire. City staff has performed detailed analysis of the extent of the damage and has provided recommendations for reconstruction to the City Council.

The City is proceeding with the design and construction of the infrastructure repairs and replacement. Planned infrastructure repairs and replacement include:

- Replacement and upsizing of waterlines and sewer lines and laterals within the neighborhood,
- Storm drain repair and construction to alleviate some of the current street drainage issues,
- Repair and replacement of damaged streets, sidewalks and other surface features,
- Replacement of the streetlight system with new, more reliable, energy efficient streetlights,
- Replacement of the Earl/Glenview park,
- Replanting the Crestmoor Canyon
- These improvements will be constructed in several phases throughout 2016 and into Fall of 2017.

Materials such as construction equipment, pipe materials, excavation spoils, import materials, pipeline fittings, trucks, tools, pumps, and miscellaneous construction items will need to be stored within the Crestmoor neighborhood. The City's selected general contractor shall be responsible for security of any materials and equipment that are stored on-site. The general contractor will provide fencing or other measures as required and will submit a written summary of items to be stored on-site for approval prior to use. A temporary bathroom will be located on site, as necessary for the contractor. The itemized list will be updated as required during the contract.

The City had selected The State of California property located at the corner of San Bruno Avenue W and Glenview Drive for the storage of construction material. Use of this site will conform to standard construction hours Monday through Friday and may require use during weekend hours, depending on construction activity type and schedules. At this time, no additional security aside from security fencing is planned.

Exhibit C- Applicant Statement



Storage/Laydown Yards - Caltrans Property