

"The City With a Heart"



Rick Biasotti, Chair
Marie Kayal, Vice Chair
Kevin Chase
Mary Lou Johnson
Sujendra Mishra
Perry Petersen
Joe Sammut

AGENDA PLANNING COMMISSION MEETING

April 5, 2016

7:00 p.m.

Meeting location: Senior Center, 1555 Crystal Springs Road, San Bruno

Planning Commission meetings are conducted in accordance with Roberts Rules of Order Newly Revised. You may address any agenda item by approaching the microphone until recognized by the Planning Commission Chair. All regular Planning Commission meetings are recorded and televised on CATV Channel 1 and replayed the following Thursday, at 2:00 pm. You may listen to recordings in the Community Development Department. Complete packets are available online at www.sanbruno.ca.gov and at the library. In compliance with the Americans with Disabilities Act, individuals requiring reasonable accommodation for this meeting should notify us 48 hours prior to meeting. Notices, agendas, and records for or otherwise distributed to the public at a meeting of the Planning Commission will be made available in appropriate alternative formats upon request by any person with a disability. Please make all requests to accommodate your disability to the Community Development Department 650-616-7074.

ROLL CALL

PLEDGE OF ALLEGIANCE

1. APPROVAL OF MINUTES: March 15, 2016

2. COMMUNICATIONS

3. PUBLIC COMMENT ON ITEMS NOT ON AGENDA

Individuals allowed three minutes, groups in attendance, five minutes. If you are unable to remain at the meeting, ask the Recording Secretary to request that the Planning Commission consider your comments earlier. It is the Planning Commission's policy to refer matters raised in the forum to staff for investigation and/or action where appropriate. The Brown Act prohibits the Planning Commission from discussing or acting upon any matter not agendaized pursuant to State Law.

4. ANNOUNCEMENT OF CONFLICT OF INTEREST

5. PUBLIC HEARINGS:

A. 859 Green Avenue (APN: 020-115-060)

Zoning: R-1 (Single-Family Residential)

Recommended Environmental Determination: Categorical Exemption

Request for a Use Permit to allow the construction of a two-story addition at the rear of the building that would add 737 square feet of floor area to the existing single-family dwelling thereby increasing its gross floor area by more than 50% (81%), requiring a use permit pursuant to Section 12.200.030 of the San Bruno Municipal Code. The finished house would have 1,648 square feet of gross floor area, including the garage. Rolando Mena (Applicant and Owner). **UP-16-003**

- B. 110 Elm Avenue** (APN: 020-414-300)
Zoning: R-1 (Single-Family Residential)
Recommended Environmental Determination: Categorical Exemption

Request for a Use Permit to allow the construction of a two-story addition at the south side of a single-family dwelling that would add 1,738 square feet of floor area to the existing dwelling thereby increasing its floor area by more than 50% (172%) per Section 12.200.030 of the San Bruno Municipal Code (S.B.M.C.). The finished house would have 2,738 square feet of gross floor area, including the garage. Jason Lui (Applicant and Owner). **UP-16-001**

- C. 139 Florida Avenue** (APN: 020-375-130)
Zoning: R-2 (Low Density Residential)
Recommended Environmental Determination: Categorical Exemption

Request for a Use Permit to allow a 1,010 square foot first and second floor addition with a detached 426 square foot garage, increasing the gross floor area from 1,070 square feet to 2,296 square feet, increasing the gross floor area of the existing home by greater than 50% (115%); and a Parking Exception to allow tandem garage parking spaces, per Sections 12.200.030.B.1 and 12.96.070.D.10.c of the of the San Bruno Municipal Code. Echo Liu (Applicant), Shui Ben Lau (Owner). **UP-15-001, PE-16-003**

6. DISCUSSION

A. CITY STAFF DISCUSSION

- Select the May 12, 2016 Architectural Review Committee members

B. PLANNING COMMISSION DISCUSSION

7. ADJOURNMENT

The next regular Planning Commission Meeting will be held on April 19, 2016 at 7:00 p.m. at the Senior Center, 1555 Crystal Springs Road, San Bruno.



Rick Biasotti, *Chair*
Marie Kayal, *Vice Chair*
Kevin Chase
Mary Lou Johnson
Sujendra Mishra
Perry Petersen
Joe Sammut

**MINUTES
PLANNING COMMISSION MEETING**

March 15, 2016

7:00 p.m.

Meeting location: Senior Center, 1555 Crystal Springs Road, San Bruno

CALL TO ORDER at 7:03 pm.

ROLL CALL

	<u>Present</u>	<u>Absent</u>
Chair Biasotti	X	
Vice Chair Kayal	X	
Commissioner Chase		X
Commissioner Johnson		X
Commissioner Mishra	X	
Commissioner Petersen	X	
Commissioner Sammut	X	

STAFF PRESENT:

Planning Division:

Community Development Director: David Woltering
Senior Planner: Michael Smith
City Attorney: Marc Zafferano

ROLL CALL

PLEDGE OF ALLEGIANCE: Police Chief Barberini

1. APPROVAL OF MINUTES (February 2, 2016) – Petersen/Mishra

VOTE: 4-0
AYES: Commissioners Biasotti, Kayal, Petersen, Mishra
NOES: None
ABSTAIN: None

2. COMMUNICATION – Director Woltering introduced Madelyn Lopez, Executive Secretary for Community Development.

3. PUBLIC COMMENT – None

4. ANNOUNCEMENT OF CONFLICT OF INTEREST – None

5. PUBLIC HEARINGS:

A. 848 6th Avenue (APN: 020-156-060)

Request for a Use Permit to allow the construction of a two-story rear addition that would add 1,695 square feet of floor area to the existing dwelling thereby increasing its floor area by more than 50% (127%), and a request to expand the garage to 646 square feet, where 600 square feet is the maximum permitted per Sections 12.200.030.B.1 and 12.200.080.B of the San Bruno Municipal Code (S.B.M.C.). Request for a Parking Exception for tandem parking per Section 12.200.080.C of the S.B.M.C. Request for a Minor Modification to allow a 1,695 square foot addition that extends an existing 3’-3” side yard setback where 5’-0” is the minimum permitted in the district, per Section 12.120.010.A of the S.B.M.C. Jason Chan (Applicant) and Sandra Lau (Owner) UP-15-023, PE-16-001, MM-16-001.

Senior Planner Michael Smith: Presented Staff Report.

Staff recommends that the Planning Commission approve UP-15-023, PE-16-001, MM-16-001, based on Findings 1-9 and subject to Conditions of Approval 1-27.

Questions for Staff - None

Public Hearing Opened

Jason Chan (Applicant/Designer): Confirmed the information presented in Staff Report.

Public Hearing Closed

Motion to approve UP-15-023, PE-16-001, and MM-16-0021 based on Findings 1-9, and subject to Conditions of Approval 1-27.

Commissioners Sammut/Kayal

VOTE: 5-0
AYES: All Commissioners present
NOES: None
ABSTAIN: None

Findings

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the home will

be constructed according to the California Building Code (CBC) and, therefore, will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)

The applicant is proposing a two story addition that will be located in the rear yard area. The proposal will benefit the City and the surrounding neighborhood by improving the property in a well-designed manner. Therefore, staff finds that the project will not be detrimental to improvement in the neighborhood or to the general welfare of the City.

3. That the proposed development is consistent with the San Bruno General Plan. (SBMC 12.108.050.B.3)

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the General Plan designation.

General Plan Policy LUD-3 states, “protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale.” The proposal will be complementary to other single-family homes in the area. The design of the project reinforces the residential character of the neighborhood.

4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (12.108.040.D).

The project would not unreasonably restrict light and air to adjacent properties because it would be only 6 feet taller than the existing building for a total height of 22’-2”, which is less than the 28’-0” height limit of the R-1 zone. Additionally, the second story is stepped back 11 feet from the first story roofline, which will minimize the impact on light and air on the property and other properties in the neighborhood. While second floor windows are proposed for the building’s north (left) and south (right) elevations, the adjacent homes have setbacks of 5’-3”, respectively. A Use Permit would only be required for adjacent homes with side setbacks of 10’-0” or more to address privacy considerations for usable yard areas. The adjacent property does not have a 10’-0” side yard; therefore, this standard of review is not applicable.

The proposed expansion also meets the floor area and lot coverage of the zoning district. The front, rear, and left side setbacks all conform to the zoning district standards. The right side setback of 3’-3” continues an existing nonconforming first floor setback through a minor modification. The second story is stepped back significantly which diminishes the mass of the addition. Therefore, the structure should not unreasonably restrict or interfere with light and air access to the adjacent properties.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G).

The proposed addition would utilize wood shingle siding and asphalt shingle roofing material, which is consistent with the existing home and the immediate neighborhood. The proposed expansion also meets the lot coverage, FAR, and height requirements of the zoning district. Therefore, staff finds that the general appearance of the proposed addition will be in keeping with the character of the neighborhood and will not be detrimental to the City. At just 17% lot coverage where 39% is permitted, the home currently occupies less than half of the permitted lot coverage on a lot that exceeds the 5,000 square foot standard. Many of the lots in the neighborhood are quite large, and other homeowners have expanded their homes towards the rear of their property.

6. That any proposed single-family or two-family dwelling conform to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.I).

Staff finds that the proposed addition conforms to the basic design principles of the Residential Design Guidelines. The addition is a two-story addition that continues the simple building form of the existing structure and would also incorporate matching exterior materials. The expansion is towards the rear and the second story is stepped back, thus reducing the visual mass of the building per 3.5.5. of the RDG. The garage is in a similar pattern to the rest of the neighborhood and the recessed garage will continue the same Hollywood Driveway pattern, per 3.3.1 of the RDG.

7. That any proposed single-family or two-family dwelling conforms to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.120.040)

Staff finds that the proposed addition conforms to the basic design principles of the Residential Design Guidelines. The addition is a two-story addition that continues the simple building form of the existing structure and would also incorporate matching exterior materials. The expansion is towards the rear and the second story is stepped back, thus reducing the visual mass of the building per 3.5.5. of the RDG. The garage is in a similar pattern to the rest of the neighborhood and the recessed garage will continue the same Hollywood Driveway pattern, per 3.3.1 of the RDG.

8. That the general appearance of the proposed building or structure, or modification, thereof, is in keeping with the character of the neighborhood. (SBMC 12.120.040)

The applicant is proposing to continue the existing 3'-3" side setback which will maintain a consistent side yard setback that is compatible with the existing single-family home and is characteristic of the surrounding neighborhood. The existing front elevation will remain, with a slightly recessed garage. The proposed addition is well integrated into the existing house with matching materials and complementary rooflines, which makes the addition compatible with the existing home's side and rear elevations.

9. That the minor modification will not be detrimental to adjacent real property. (SBMC 12.120.040)

The reduced 3'-3" setback will not be detrimental to the adjacent real property as the proposed addition is well designed, meets the majority of the development standards outlined within the Municipal Code and Residential Design Guidelines. The adjacent building remains set back a sufficient distance to provide light and privacy.

The project will include investment in the property that should benefit adjacent properties. Therefore, the reduced setback will not be detrimental to the adjacent properties.

CONDITIONS OF APPROVAL

Community Development Department

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 15-023 shall not be valid for any purpose. Use Permit 15-023 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for Use Permit shall be built according to plans approved by the Planning Commission on March 15, 2016 labeled Exhibit C except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The home shall be used only as a single-family residential dwelling unit. No portion of any residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the California Building Code. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance.
8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning, Building, and Public Services staff to ensure compliance with the conditions of approval during the construction process.
9. Prior to Final Inspection, the site shall be landscaped according to the plans approved by the Planning Commission on March 15, 2016 and any site landscaping damaged during construction shall be replanted to the satisfaction of the Community Development Director.

10. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.
11. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.
12. Comply with the 2013 California Codes, including the California Residential Code.

Public Services Department

13. The front property line is located 2.0 feet behind the sidewalk at 848 6th Avenue. No fences, retaining walls, or other permanent structure shall be placed or constructed within 2.0 feet from the back of sidewalk along 848 6th Avenue. S.B.M.C. 8.08.010.
14. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all existing and proposed grading and drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
15. Show on the plans flow line diagrams for cold water lines, hot water lines, gas lines, and sanitary sewer lines to include all existing and proposed systems in accordance with the applicable California Building Code 2013.
16. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02, dated June 2015. Older clean outs not meeting current City standards shall be replaced.
17. Planting of one 36-inch box size approved tree or payment to the in-lieu replacement tree fund per most current fee schedule is required. Tree shall be located on 848 6th Avenue per SBMC 8.24.060. At the current rate, the impact payment required is \$540. A separate tree-planting permit is required from Parks Division for any new street tree.
18. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property shall be removed and replaced. Remove and replace all damaged and/or broken sidewalk at front of property for all locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010.
19. Prior to final inspection, paint the address number on face of the curb near the driveway approach with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted.
20. Obtain an Encroachment Permit from Public Works Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit.
21. An erosion control plan and storm water pollution prevention plan is required. The applicant

shall show existing storm drain inlets and other storm water collection locations protected by silt screens or silt fence. The work shall conform to the current NPDES requirements.
S.B.M.C. 12.16.020.

22. Show on plans how storm water shall be collected from downspouts and other on-site drainage and drained into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary.
23. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for review.
24. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing ¾-inch water meter is sufficient to serve proposed water demand. If existing meter is undersized a new meter is required. Applicant shall pay water and sewer capacity charges based on the size of the water meter installed along with materials and installation of an upgraded water meter. S.B.M.C. 10.14.020/110. Indicate on the plans the location of the existing water meter and the available water pressure at the property.

Fire Department

25. Address numbers to be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
26. Provide hard-wired smoke detectors with battery backup as required by building code.
27. Provide spark arrester for chimney if not currently in place.

B. 1745 Holly Avenue (APN: 020-025-060)

Request for a Use Permit to allow an addition that would add 254 square feet of living area, convert 37 square feet of existing garage area to living area, and add 61 square feet of garage area to the existing 1,838 square feet of living area for a total of 2,129 square feet of living area, which exceeds the maximum 1,825 square feet allowed for a one-car garage, per Section 12.200.030.B.5 and 12.200.080.A.2 of the San Bruno Municipal Code. Request comes from Ken Ibarra (Applicant) J. & A. LaBagh (Owners). UP-15-024.

Senior Planner Michael Smith: Presented Staff Report.

Staff recommends that the Planning Commission approve Use Permit 15-024 based on Findings 1-6 and subject to Conditions of Approval 1-27.

Questions for Staff - None

Public Hearing Opened

Jason LaBagh (Owner): Requested that commission approve project a proposed.

Public Hearing Closed

Motion to approve Use Permit 15-024 based on Findings 1-6 and Conditions of Approval 1-27.

Commissioner Mishra/Kayal

VOTE: 5-0
AYES: All Commissioners present
NOES: None
ABSTAIN: None

Findings

1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)

With the condition that the applicant obtain a building permit prior to construction, the home will be constructed according to the California Building Code (CBC) and, therefore, will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)

The applicant is proposing a ground floor addition located in the rear yard area. The project is well-designed and will have minimal overall impact. Therefore, staff finds that the project will not be detrimental to improvement in the neighborhood or to the general welfare of the City.

3. That the proposed development is consistent with the San Bruno General Plan. (SBMC 12.108.050.B.3)

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the General Plan designation.

General Plan Policy LUD-3 states, "protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale." The proposal will be complementary to other single-family homes in the area. The design of the project reinforces the residential character of the neighborhood.

4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (SBMC 12.108.040.D).

The project would not unreasonably restrict light and air to adjacent properties because it maintains the existing height and it would respect the existing building's side setbacks. The adjacent property to the west of the subject property is located on a higher elevation and would

look over the roof of the proposed addition. The proposed expansion also meets the floor area, lot coverage, setback, and height requirements of the zoning district. The side and rear setbacks for the proposed addition are all in compliance with the setback requirements. Therefore, the structure should not unreasonably restrict or interfere with light and air access to the adjacent properties.

- 5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G).**

The proposed addition would utilize wood siding cladding and asphalt shingle roofing material, which is consistent with the existing home and the immediate neighborhood. The proposed expansion also meets the lot coverage, setback, and height requirements of the zoning district. Therefore, staff finds that the general appearance of the proposed addition will be in keeping with the character of the neighborhood and will not be detrimental to the City.

- 6. That any proposed single-family or two-family dwelling conform to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.I).**

Staff finds that the proposed addition, with modifications, conforms to the basic design principles of the Residential Design Guidelines. The addition is a ground floor addition that continues the simple building form of the existing structure and would also incorporate matching exterior materials. In order to minimize the garage’s visual impact and to adhere to section 3.3.3 of the Residential Design Guidelines (“Avoid letting the garage dominate the design of the house”), the applicant added a carriage-style garage door. The addition of the porch minimizes the garage’s impact even further.

CONDITIONS OF APPROVAL

Community Development Department

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 15-024 shall not be valid for any purpose. Use Permit 15-024 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for Use Permit shall be built according to plans approved by the Planning Commission on March 15, 2016 labeled Exhibit C except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from

10:00 p.m. to 7:00 a.m.

5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The home shall be used only as a single-family residential dwelling unit. No portion of any residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the California Building Code. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance.
8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning, Building, and Public Services staff to ensure compliance with the conditions of approval during the construction process.
9. Prior to Final Inspection, the site shall be landscaped according to the plans approved by the Planning Commission on March 15, 2016 and any site landscaping damaged during construction shall be replanted to the satisfaction of the Community Development Director.
10. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.
11. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.
12. Comply with the 2013 California Codes, including the California Residential Code.

PUBLIC SERVICES

13. The front property line is located 5.5 feet behind the sidewalk at 1745 Holly Avenue. No fences, retaining walls, or other permanent structure shall be placed or constructed within 5.5 feet from the back of sidewalk along 1745 Holly Avenue. S.B.M.C. 8.08.010.
14. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all existing and proposed grading and drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
15. Show on the plans flow line diagrams for cold water lines, hot water lines, gas lines, and sanitary sewer lines to include all existing and proposed systems in accordance with the applicable California Building Code 2013.
16. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per

City Standards Detail SS-02, dated June 2015. Older clean outs not meeting current City standards shall be replaced.

17. Planting of one 36-inch box size approved tree or payment to the in-lieu replacement tree fund per most current fee schedule is required. Tree shall be located on 1745 Holly Avenue per SBMC 8.24.060. At the current rate, the impact payment required is \$540. A separate tree-planting permit is required from Parks Division for any new street tree.
18. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property shall be removed and replaced. Remove and replace all damaged and/or broken sidewalk at front of property for all locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010.
19. Prior to final inspection, paint the address number on face of the curb near the driveway approach with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted.
20. Obtain an Encroachment Permit from Public Works Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit.
21. An erosion control plan and storm water pollution prevention plan is required. The applicant shall show existing storm drain inlets and other storm water collection locations protected by silt screens or silt fence. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
22. Show on plans how storm water shall be collected from downspouts and other on-site drainage and drained into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary.
23. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for review.
24. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing ¾-inch water meter is sufficient to serve proposed water demand. If existing meter is undersized a new meter is required. Applicant shall pay water and sewer capacity charges based on the size of the water meter installed along with materials and installation of an upgraded water meter. S.B.M.C. 10.14.020/110. Indicate on the plans the location of the existing water meter and the available water pressure at the property.

FIRE DEPARTMENT

25. Address numbers to be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.

26. Provide hard-wired smoke detectors with battery backup as required by building code.

27. Provide spark arrester for chimney if not currently in place.

C. Admiral Court and Commodore Drive in The Crossing (APNs: 020-013-250 and 020-013-260)

Adopt a Resolution confirming review for conformance with the San Bruno General Plan of the disposition (sale) of properties (APN Nos. 020-013-250 and 020-013-260) located at Admiral Court and Commodore Drive in The Crossing development by the City of San Bruno for the purpose of developing a 152 room, five-story, high-quality, select-service hotel with 3,000 square feet of meeting/banquet space and a below-grade parking garage in addition to surface parking.

Government Code Section 65402 requires the local planning agency (the Planning Commission) to report to the local governmental body handling such matters, of the conformity of a proposed sale of property with the jurisdiction’s General Plan.

Director Woltering: Presented Staff Report.

Staff recommends that the Planning Commission adopt the attached Resolution 2016-___, for properties (Assessor’s Parcel Nos. 020-013-250 and 020-013-260) located at Admiral Court and Commodore Drive in The Crossing Development, thereby finding the City’s sale of the properties for the purpose of developing a 152-room, five-story, high-quality, select-service hotel with 3,000 square feet of meeting/banquet space and a below grade parking garage in addition to surface parking is in conformance with the San Bruno General Plan and U.S. Navy Site and Its Environs Specific Plan.

Commissioner Petersen: Concerned about the lack of street parking.

Director Woltering: The specifics of the project, including details of the parking, will come back to the Planning Commission for consideration after the City Council execution of the Purchase and Sales Agreement. Noted that a shuttle system is included in the Transportation Demand Management Plan (TDM) for the proposed project.

Chair Biasotti: Asked about the lack of an assigned resolution number.

Director Woltering: Staff will be assigning a resolution number.

Opened Public Hearing

None

Closed Public Hearing

Motion to adopt Resolution 2016-___ confirming review for conformance with the San Bruno General Plan of the disposition (sale) of properties (APN Nos. 020-013-250 and 020-

013-260) located at Admiral Court and Commodore Drive in The Crossing development by the City of San Bruno for the purpose of developing a 152 room, five-story, high-quality, select-service hotel with 3,000 square feet of meeting/banquet space and a below-grade parking garage in addition to surface parking.

Commissioner Mishra/Kayal

Roll Call Vote: 5-0

AYES: Chair Biasotti, Commissioners Sammut, Petersen, Mishra, Kayal
NOES: None
ABSTAIN: None

7. DISCUSSION

A. CITY STAFF DISCUSSION:

Staff asked for volunteers for the April 2016 ARC meeting: Commissioners Kayal, Sammut, and Biasotti identified.

B. PLANNING COMMISSION DISCUSSION:

None

8. ADJOURNMENT

Meeting was adjourned at 7:25 pm

David Woltering
Secretary to the Planning Commission
City of San Bruno

Rick Biasotti, Chair
Planning Commission
City of San Bruno

NEXT MEETING: April 5, 2016



567 El Camino Real
San Bruno, CA 94066
Voice: (650) 616-7074
Fax: (650) 873-6749
www.sanbruno.ca.gov

STAFF

David Woltering, AICP, *Community Development Director*
Mark Sullivan, AICP, *Long Range Planning Manager*
Michael Smith, *Senior Planner*
Matt Neuebaumer, *Associate Planner*
Paula Bradley, AICP, *Contract Associate Planner*
Matt Jones, *Contract Assistant Planner*
Marc Zafferano, *City Attorney*

PLANNING COMMISSION

Rick Biasotti, *Chair*
Marie Kayal, *Vice Chair*
Kevin Chase
Mary Lou Johnson
Sujendra Mishra
Perry Petersen
Joe Sammut

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. 5.A.
April 5, 2016**

Project Address: 859 Green Avenue
Assessor's Parcel No: 020-414-300
Application No.: UP-16-003
Zoning District: R-1 (Single-Family Residential)
General Plan Classification: Low Density Residential
Prepared by: Michael Smith, (650) 616-7062

REQUEST

Request for a Use Permit to allow the construction of a two-story addition at the rear of the building that would add 737 square feet of floor area to the existing single-family dwelling thereby increasing its gross floor area by more than 50% (81%), requiring a use permit pursuant to Section 12.200.030 of the San Bruno Municipal Code. The finished house would have 1,648 square feet of gross floor area, including the garage. Jose Mena (Applicant and Owner).

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit 16-003 based on Findings 1-6, and subject to Conditions of Approval 1-26.

PROJECT DESCRIPTION

The applicant is proposing to construct a 737 square foot two-story addition at the rear of an existing split level single-family dwelling, which will increase the gross floor area of the existing home by greater than 50% (81%). The ground floor of the addition would contain a family room and full bath and the upper floor would have a new master bedroom with a full bath. The addition would have a stucco finish and a gabled roof that is clad in composition shingles. Both the pitch of the roof and its materials would match the existing building. If approved and constructed, the residence would become a three bedroom, three bath, home with a total of 1,505 square feet of habitable area, not including the garage.

ARCHITECTURAL REVIEW COMMITTEE

The Architectural Review Committee (Commissioners Johnson, Chase, Sammut) reviewed this project at its March 10, 2016 meeting. The Architectural Review Committee forwarded the project to the Planning Commission with no additional comments.

ENVIRONMENTAL REVIEW

This project is Categorical Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301.e: Existing Facilities.

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on March 24, 2016.
2. Advertisement published in the San Mateo Daily Journal, Saturday, March 26, 2016.

PUBLIC COMMENT

No comments have been received as of the completion of this staff report.

REVIEWING AGENCIES

Community Development Department
Public Services Department
Fire Department

EXISTING CONDITIONS

The subject property is located on Green Avenue between San Bruno and Euclid Avenues in the San Bruno Park subdivision. The subject lot measures 25'-0" in width, 100'-0" in depth, 2,500 square feet in area, and is substandard lot of record. The property is currently developed with a split level single-family dwelling that contains two bedrooms, one bath, and a single car garage within a total gross floor area 911 square feet (garage included). The home was constructed in 1924 and is located on the north side of the property. The building is nonconforming because it does not respect the required 3'-0" side setback at the south side of the property. Immediately adjacent to the subject property are single-family dwellings.

ADDITIONAL INFORMATION

- **Accessory Structures:** There are no accessory structures located on the subject property.
- **Code Enforcement:** There are no active Code Enforcement cases.
- **Easements:** There are no easements located on the subject property.
- **Heritage Trees:** There are no heritage trees located on-site but the existing street tree is also a heritage tree.
- **Previous additions or alterations:** There have been no previous additions or alterations to the subject property.

SURROUNDING LAND USES

North: Euclid Avenue – R-1 (Single Family Residential)
South: San Bruno Avenue – R-1 (General Commercial)
East: Easton Avenue – R-1 (Single Family Residential)
West: Hensley Avenue – R-1 (Single Family Residential)

PROJECT DETAILS SUMMARY

SITE CONDITIONS		ZONING REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS
Land Use		R-1	R-1	Same
Lot Area		2,500 s.f. 3,000 s.f. adjusted	2,500 s.f. 3,000 s.f. adjusted	Same
Lot Coverage		1,320 s.f. (53%)	768 s.f. (31%)	1,221 s.f. (49%)
Gross Floor Area		1,650 s.f.*	911 s.f.	1,648 s.f.
Floor Area Ratio		.55	.303	.549
Building Setbacks	Front	15'-0"	11'-1"	Same
	Rear	10'-0"	46'-0"	18'-0"
	R Side	3'-0"	5'-0"	Same
	L Side	3'-0"	1'-0"	Same
Building Height		28'-0"	17'-8"	23'-4"
Covered Parking		1 space	1 space	1 space

Notes:

*See Chart 1 in Section 12.96.060 of the SBMC for the floor area ratio adjustment factor for lot size.

**Max. FAR = Lot size X adjustment factor X ratio

Square Footage Breakdown:

	Ground floor	Second Floor	Garage	Total
Existing	713	0	143	856
Proposed	405	284	-	689
Total	1,118	284	143	1,648

Notes:

*Existing 184 square foot garage space to be converted into habitable area.

STAFF'S PROJECT ANALYSIS

The applicant is proposing to construct a 737 square foot, two-story addition at the rear of the building. A Use Permit is required because the addition would increase the gross floor area of the existing home by greater than 50% (81%). The proposal would otherwise meet the lot coverage, floor area ratio, and height requirements of the zoning district. Specifically, the proposed gross floor area is 1,648 square feet, which corresponds to a .549 FAR based upon the adjusted lot size. The addition would be approximately 5'-8" taller than the existing building.

Although the addition would be taller than the existing building, the taller element would be substantially set back from the front of the building, preserving the building's scale as viewed from the street. The project complies with the Residential Design Guidelines because it would incorporate design elements from the existing building such as the gabled roof and matching exterior materials. Furthermore, the addition would respect the 3'-0" required side setback on the left side of the building where the existing building provides a 1'-0" nonconforming side setback. The side setback on the right side of the addition would align with the existing building providing a 5'-0" side setback where the S.B.M.C. requires a 3'-0"

setback.

Most of the homes within the immediate neighborhood were constructed in the 1920s, 30s, 40s. Lot widths vary between lots that are nonconforming in terms of width while other lots are 50'-0" in width and include side setbacks. In addition, some homes are two stories in height while others are single story. Though the proposed addition would add height to the home it would do so in a manner that respects the scale of the neighborhood by placing the added building mass towards the rear of the property.

The addition would enlarge a modest home making it more suitable for modern family living by adding a master bedroom suite and additional common living space.

Concerning the proposed landscape plan, staff will include a condition that requires the applicant to submit a final more detailed landscaping and irrigation plan prior to issuance of building permit as required by the Zoning Code.

FINDINGS

*Pursuant to the City's Municipal Code, the Commission shall grant the Use Permit if it makes the following findings. Required findings are in **bold** followed by staff's analysis of the merits of the project and how the findings can be made.*

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the home will be constructed according to the California Building Code (CBC) and, therefore, will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

- 2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)**

The applicant is proposing a two story addition that will be located at the rear of the building. The proposal will benefit the City and the surrounding neighborhood by improving the property in a well-designed manner. Therefore, staff finds that the project will not be detrimental to improvement in the neighborhood or to the general welfare of the City.

- 3. That the proposed development is consistent with the San Bruno General Plan. (SBMC 12.108.050.B.3)**

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the General Plan designation.

General Plan Policy LUD-3 states, "protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale." The proposal will be complementary to other single-family homes in the area. The design of the project reinforces the residential character of the neighborhood.

- 4. That the proposed development, as set forth on the plans, will not unreasonably restrict or**

interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (12.108.040.D).

The project would not unreasonably restrict light and air to adjacent properties because it would respect the required side setback requirement. Furthermore, the adjacent buildings are set back substantially from the side property lines that they respectively share with the subject property. These greater side setbacks allow more light and air to penetrate the sides of the adjacent buildings than would normally be granted within a more consistent development pattern.

New second floor windows are proposed for the addition's north and south elevations but they would service a bathroom on the north elevation and only intended to provide light and ventilation. The window on the south elevation would be located over 5'-0" above the floor making it difficult for the occupants to see out of the window. Therefore, the proposed side windows will not impact the neighbors privacy.

The proposed expansion would be located towards the rear of the property, thus protecting the scale of the neighborhood as viewed from the street and both of the adjacent buildings are larger than the proposed building.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G).

The proposed addition would utilize a gabled roof, stucco cladding and composition roofing material, which is consistent with homes within the immediate neighborhood. The proposed expansion also meets the lot coverage, setback, and height requirements of the zoning district. Therefore, staff finds that the general appearance of the proposed addition will be in keeping with the character of the neighborhood and will not be detrimental to the City.

6. That any proposed single-family or two-family dwelling conform to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.I).

Staff finds that the proposed addition conforms to the basic design principles of the Residential Design Guidelines. The addition would be well articulated as described above, would be well integrated with the existing building, and would incorporate materials that are prevalent within the neighborhood; therefore, the existing architectural character of the neighborhood will not be affected.

CONDITIONS OF APPROVAL

Community Development Department

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 16-003 shall not

be valid for any purpose. Use Permit 16-003 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.

2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for Use Permit shall be built according to plans approved by the Planning Commission on April 5, 2016 labeled Exhibit D except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The home shall be used only as a single-family residential dwelling unit. No portion of any residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the California Building Code. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance.
8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning, Building, and Public Services staff to ensure compliance with the conditions of approval during the construction process.
9. Prior to Final Inspection, the site shall be landscaped according to the plans approved by the Planning Commission on April 5, 2016 and any site landscaping damaged during construction shall be replanted to the satisfaction of the Community Development Director.
10. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.
11. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.
12. Comply with the 2013 California Codes, including the California Residential Code.

Public Services Department

13. The front property line is located 2.0 feet behind the sidewalk on Green Avenue. No fences, retaining walls, or other permanent structure shall be placed or constructed within this 2.0 foot area. S.B.M.C. 8.08.010.
14. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all existing and proposed grading and drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
15. Show on the plans flow line diagrams for cold water lines, hot water lines, gas lines, and sanitary sewer lines to include all existing and proposed systems in accordance with the applicable California Building Code 2013.
16. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02, dated June 2015. Older clean outs not meeting current City standards shall be replaced.
17. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property shall be removed and replaced. Remove and replace all damaged and/or broken sidewalk at front of property for all locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010.
18. Obtain an Encroachment Permit from Public Services Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit.
19. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing water meter is sufficient to serve proposed water demand. If the existing meter is undersized a new meter will be required including water and sewer capacity charges based on the size of the new water meter installed along with materials and installation charges for an upgraded water meter. Please indicate on the plans the location and size of the existing water meter and the available water pressure at the property. For additional information, attached are Calculation Procedures and the estimated water pressure available near the property is 95 psi static. S.B.M.C. 10.14.020/110.
20. Prior to final inspection, paint the address number on face of the curb near the driveway approach with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted.
21. An erosion control plan and storm water pollution prevention plan is required. The applicant shall show existing storm drain inlets and other storm water collection locations protected by silt screens or silt fence. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
22. Show on plans how storm water shall be collected from downspouts and other on-site drainage and drained into landscaping or collected through an under sidewalk curb drain to the gutter per City

Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary and confirm that the new stairwell structure will not block existing surface drainage patterns.

23. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for review.

Fire Department

24. Address numbers to be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.

25. Provide hard-wired smoke detectors with battery backup as required by building code.

26. Provide spark arrester for chimney if not currently in place.

Date of Preparation: March 30, 2016
Prepared by: Michael Smith, Senior Planner

EXHIBITS

- A.** Site Location
- B.** Photographs
- C.** Colors and Materials
- D.** Plans
- E.** Green Building Statement

859 Green Avenue
020-414-300
UP-16-003

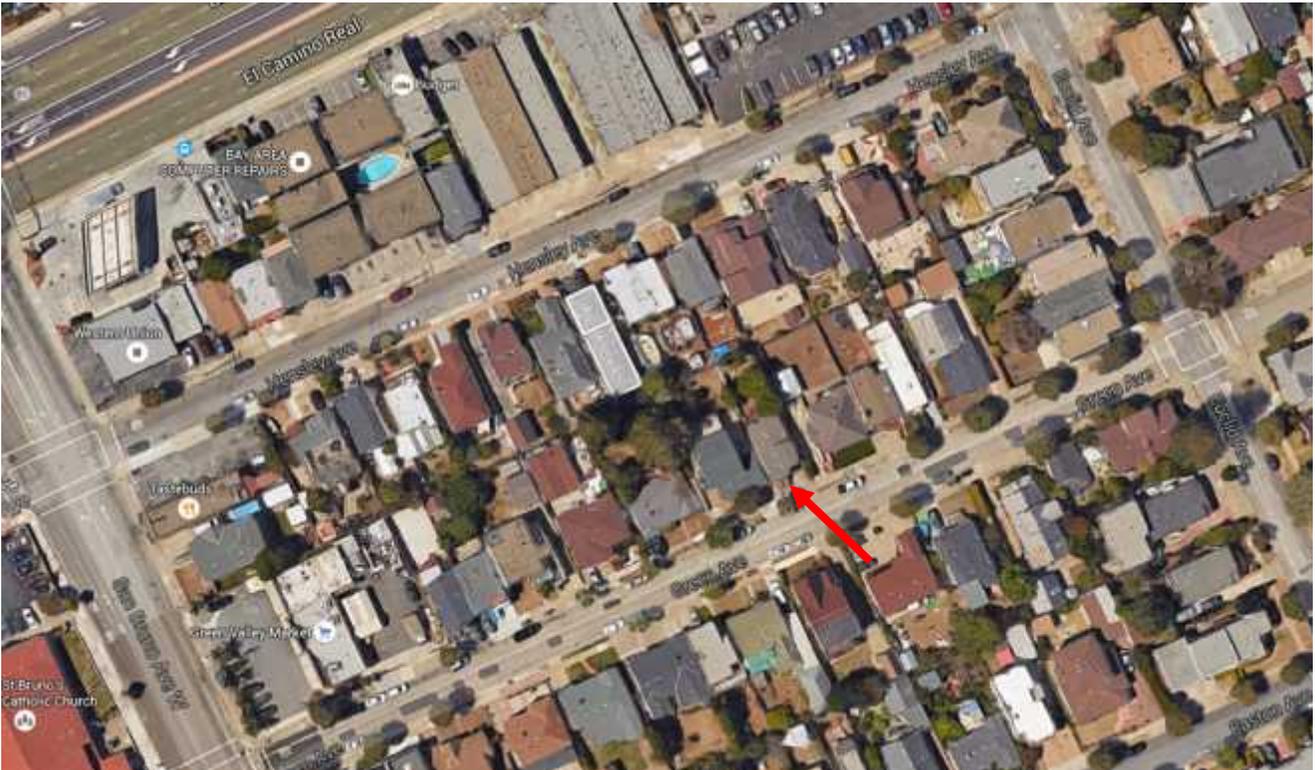


Exhibit A: Site Location

Exhibit B: Photographs



Subject Site



Property to the North (right)



Property to the South (left)



Properties across the street

Exhibit C

COLOR SAMPLES & EXTERIOR MATERIALS

PROPOSED ADDITION AT
859 GREEN AVE. SAN BRUNO

**“WEATHERWOOD” ELK PRESTIQUE
CLASS “A” SHINGLE ROOF**

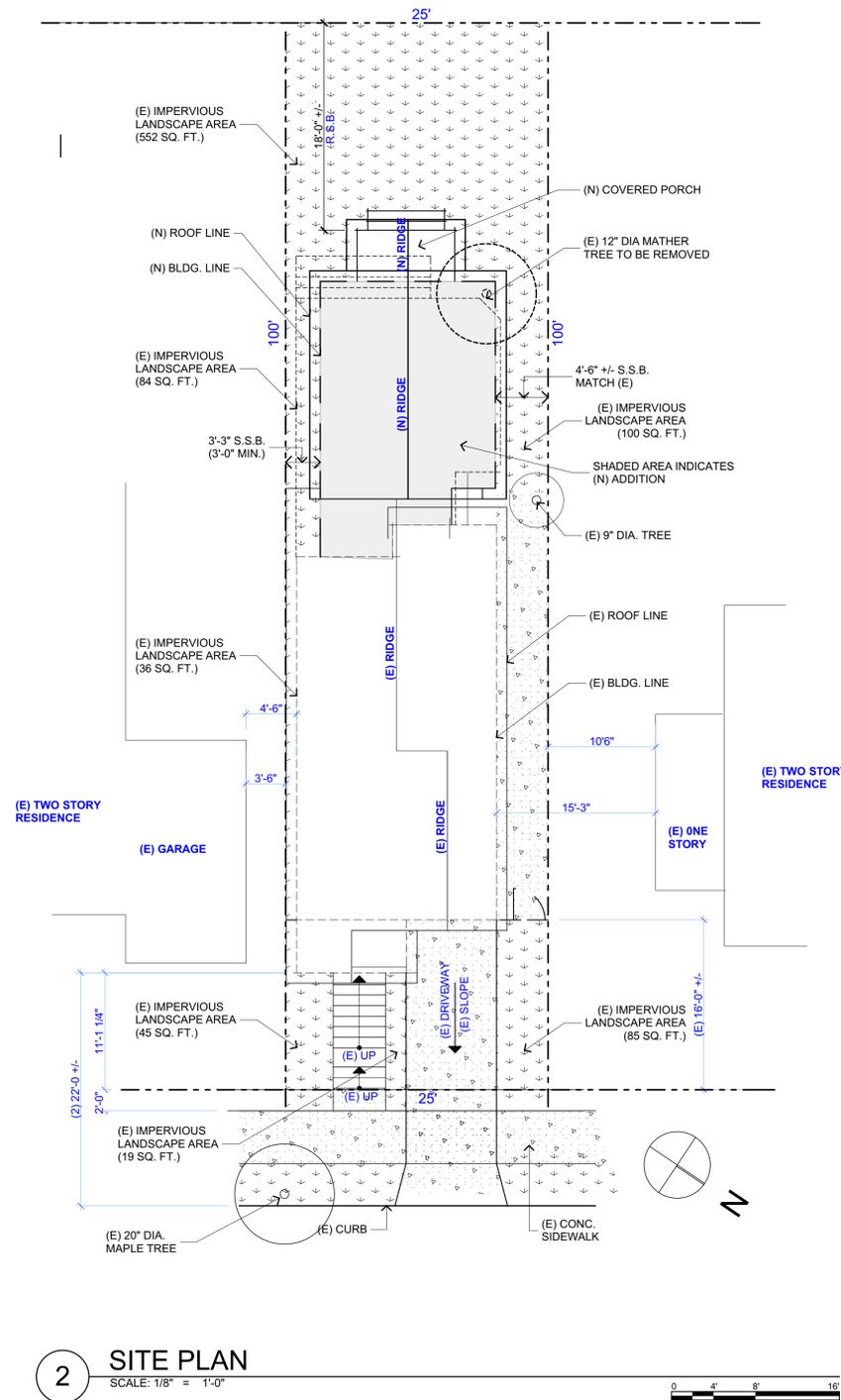


**“COFFEE CREAM”
TYPICAL AT STUCCO FINISH**



**“WHITE”
TYPICAL AT FASCIA. WINDOW
AND DOOR TRIM**

Exhibit D



BUILDING AND PLANNING DATA

A.P.N. 020-115-060
 ZONE R1
 LOT SIZE 2,500 SQ. FT.

BUILDING AREA	EXISTING	PROPOSED	TOTAL
FIRST FLOOR			
LIVING:	713 SQ. FT.	405 SQ. FT.	1118 SQ. FT.
GARAGE:	143 SQ. FT.		
COVERED PORCH:	55 SQ. FT.	48 SQ. FT.	103 SQ. FT.
SECOND FLOOR			
LIVING:		284 SQ. FT.	284 SQ. FT.

BUILDING AREA	EXISTING	PROPOSED	TOTAL	ALLOWED
	911	737	1648	1650

FOOTPRINT	EXISTING	PROPOSED	TOTAL	ALLOWED
	768	453	1221	1320

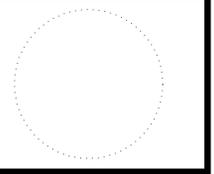
AVERAGE SLOPE
 LESS THAN 10%

IMPERIOUS SURFACE	EXISTING	PROPOSED	TOTAL
REAR YARD	552 SQ. FT.	(NO CHANGE)	
LEFT SIDE YARD	84 SQ. FT.	(NO CHANGE)	
RIGHR SIDE YARD	100 SQ. FT.	(NO CHANGE)	
FRONT YARD	149 SQ. FT.	(NO CHANGE)	
TOTAL	885 SQ. FT.		35%

FRONT YARD IMPEROUS SURFACE	EXISTING	PROPOSED	TOTAL
TOTAL FRONT YARD	295 SQ. FT.	148 SQ. FT.	NO CHANGE
			50.5%

WH DRAFTING AND DESIGN

585 QUARRY RD.
 SAN CARLOS, CA.
 warren9250@yahoo.com
 (415) 531-1878



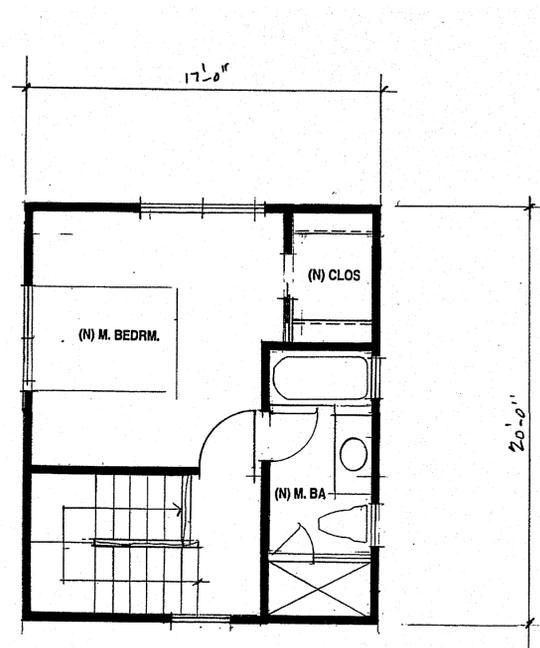
ADDITION FOR:
JACQUELIN AND JOSE MENA
 859 GREEN AVENUE
 SAN BRUNO, CA.

MARK	DATE	DESCRIPTION
	2/21/16	PLANNING
	3/3/16	PLANNING REVISED DATA

PROJECT NO: **ROLANDO**
 DATE: **3/3/2016**
 DRAWN BY:
 COPYRIGHT **WH 2016**

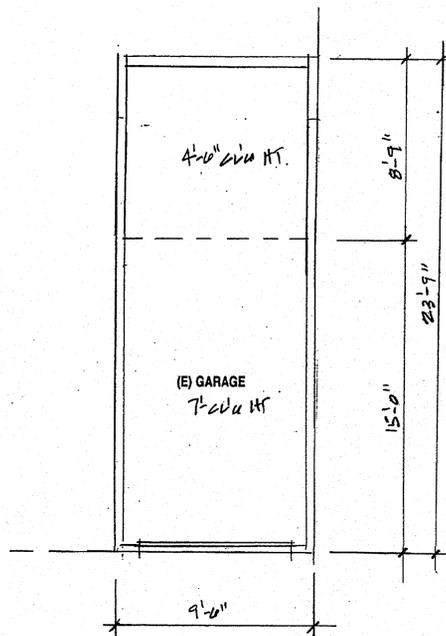
SHEET TITLE
COVER SHEET

A-1



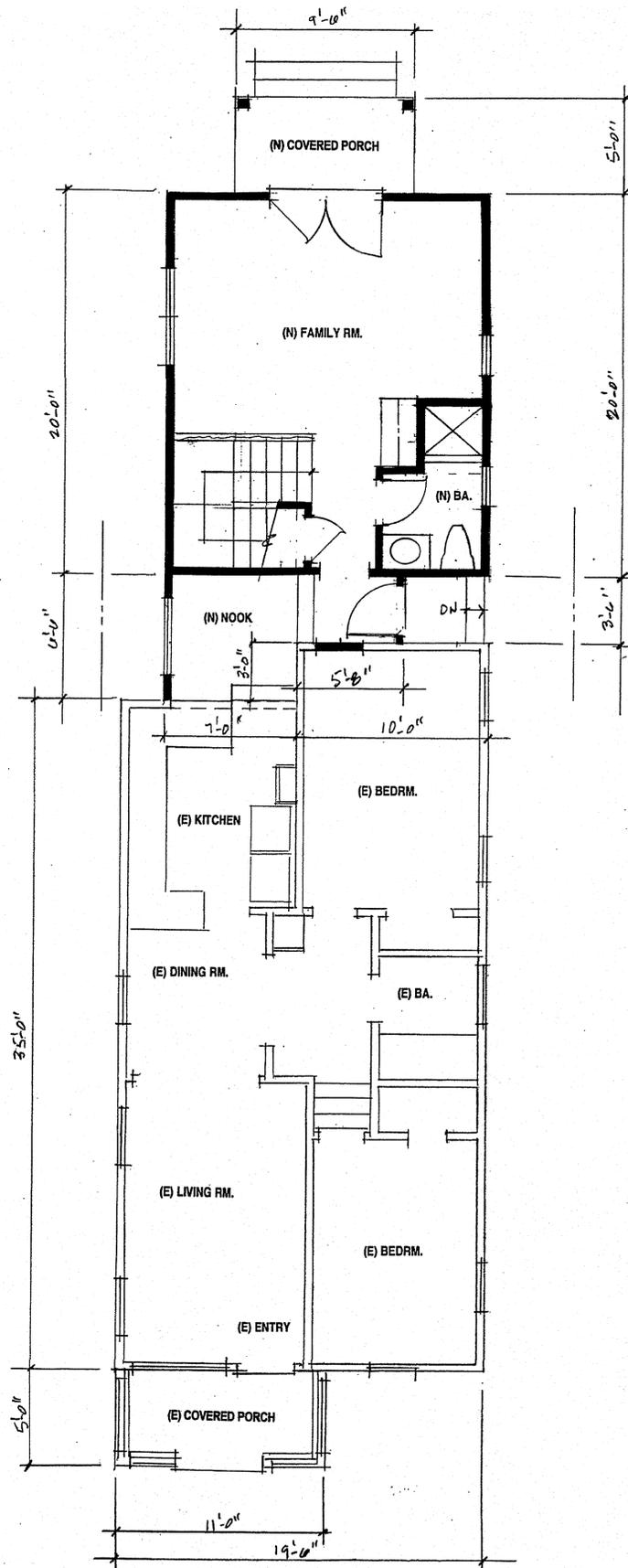
UPPER FLOOR PLAN

GROSS - 340 SF
 LESS STAIRS - 50 SF
 NET 284 SF



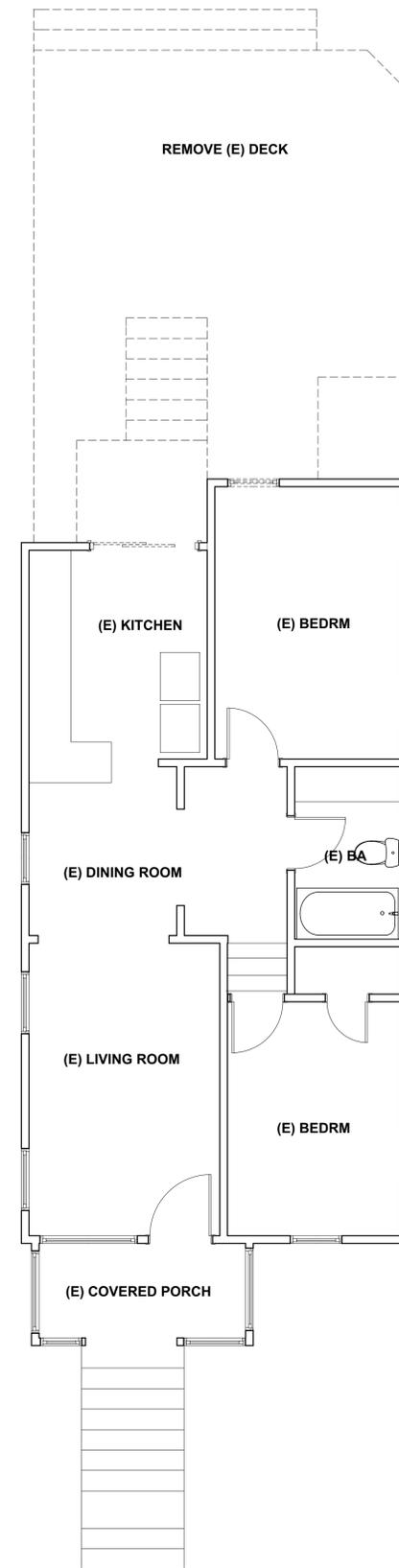
LOWER FLOOR PLAN

EXISTING - 143 SF



MAIN FLOOR PLAN

EXISTING -
 LIVING - 713 SF
 PORCH - 53 SF
 ADDITION
 LIVING - 405 SF
 PORCH - 48 SF



3 EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"



ADDITION FOR:

JACQUELIN AND JOSE MENA

859 GREEN AVENUE
 SAN BRUNO, CA.

MARK	DATE	DESCRIPTION

PROJECT NO: **ROLANDO**

DATE: **3/3/2016**

DRAWN BY:

COPYRIGHT **WH 2016**

SHEET TITLE

1st FLOOR PLAN



ADDITION FOR:

**JACQUELIN
AND JOSE
MENA**

859 GREEN AVENUE
SAN BRUNO, CA.

MARK	DATE	DESCRIPTION

PROJECT NO: **ROLANDO**

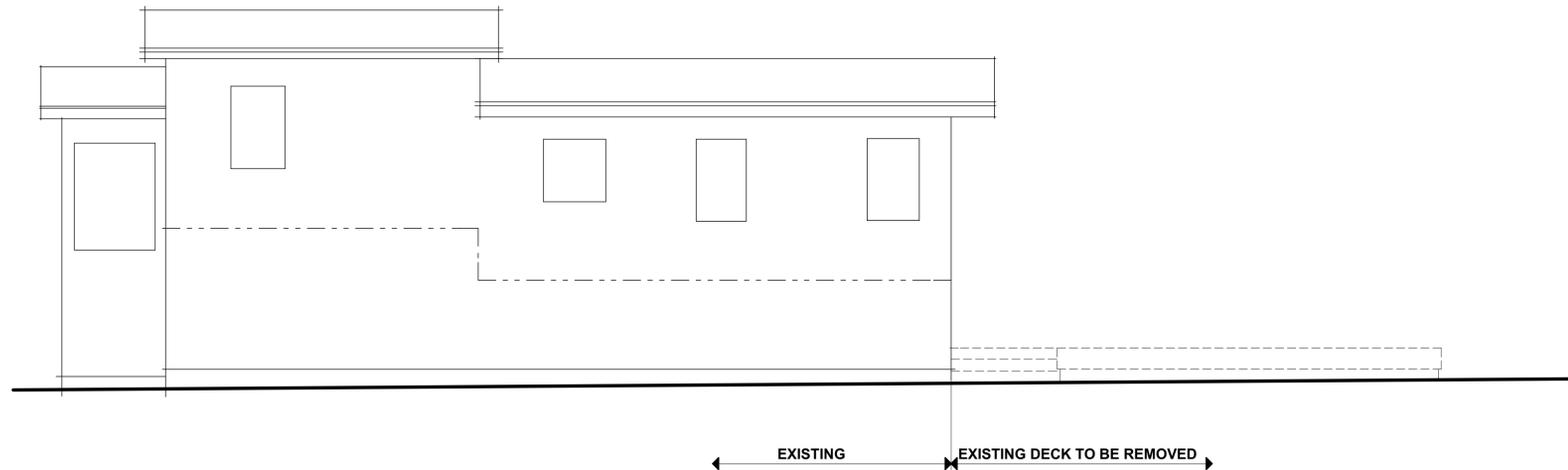
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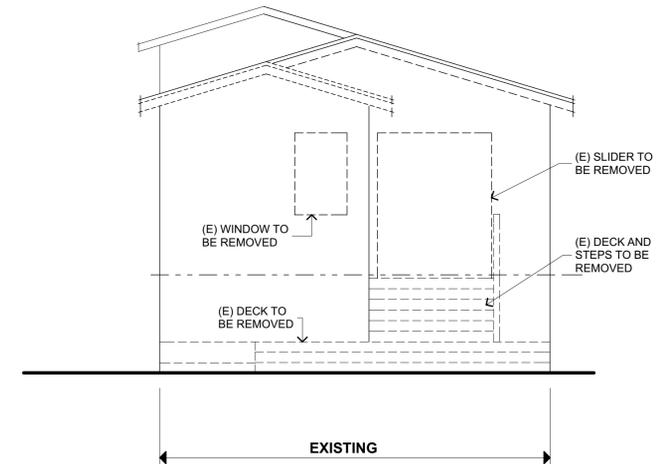
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SHEET TITLE

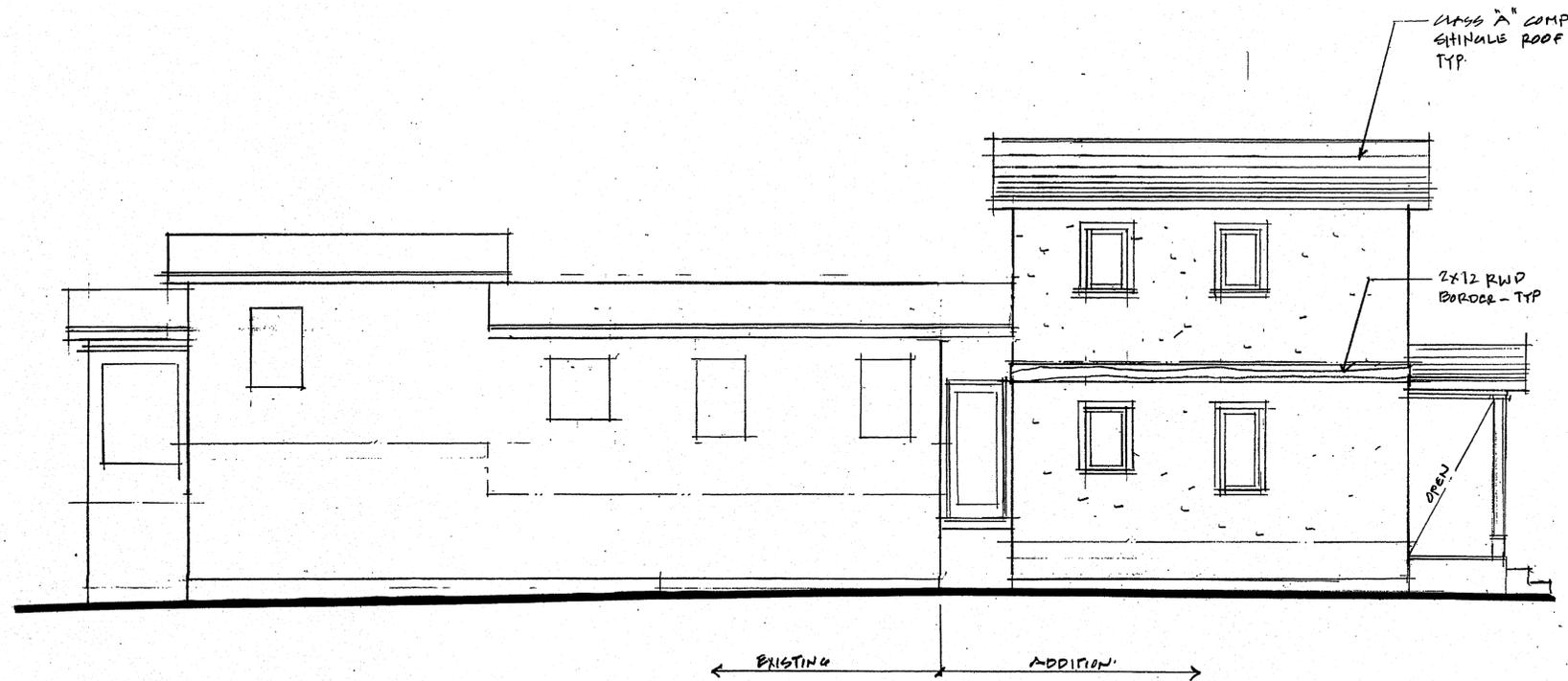
ELEVATIONS



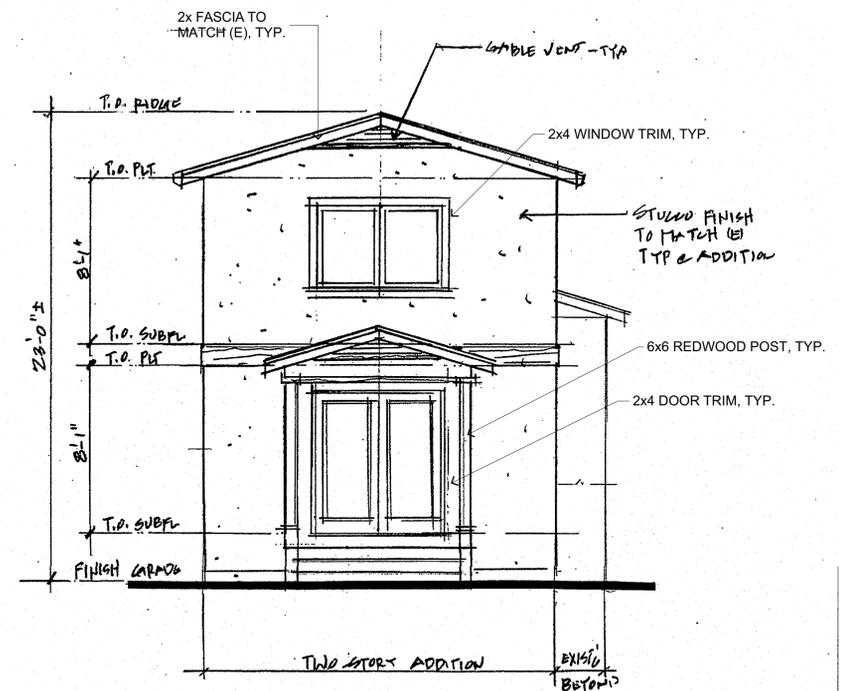
EXISTING RIGHT SIDE ELEVATION (NORTH)



EXISTING REAR ELEVATION (WEST)



RIGHT SIDE ELEVATION (NORTH)



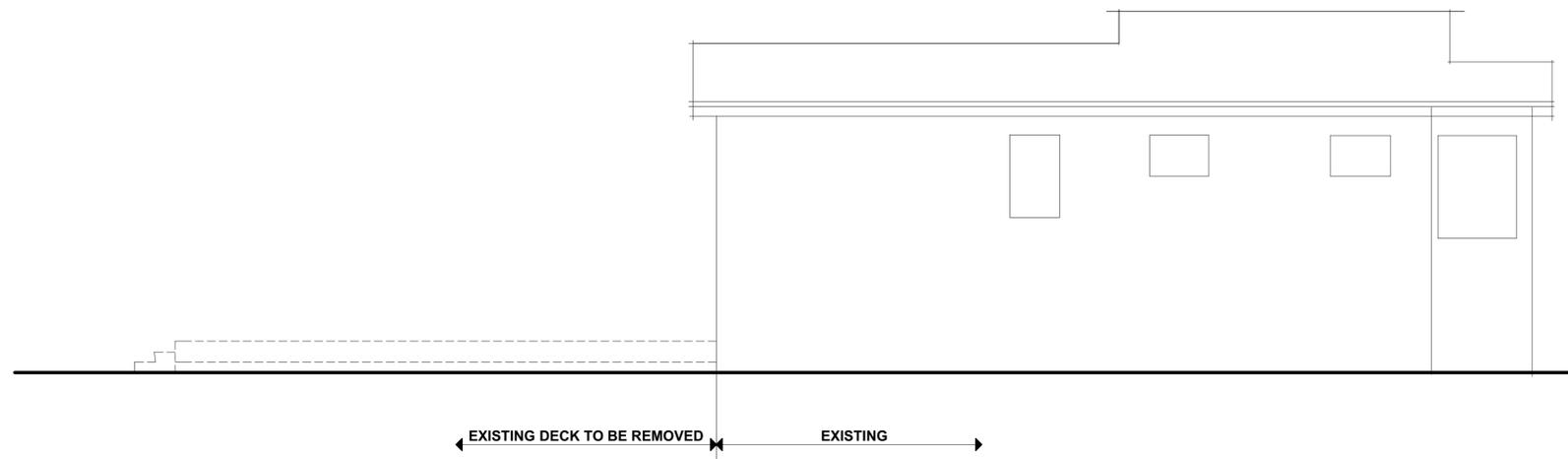
REAR ELEVATION (WEST)



ADDITION FOR:

**JACQUELIN
AND JOSE
MENA**

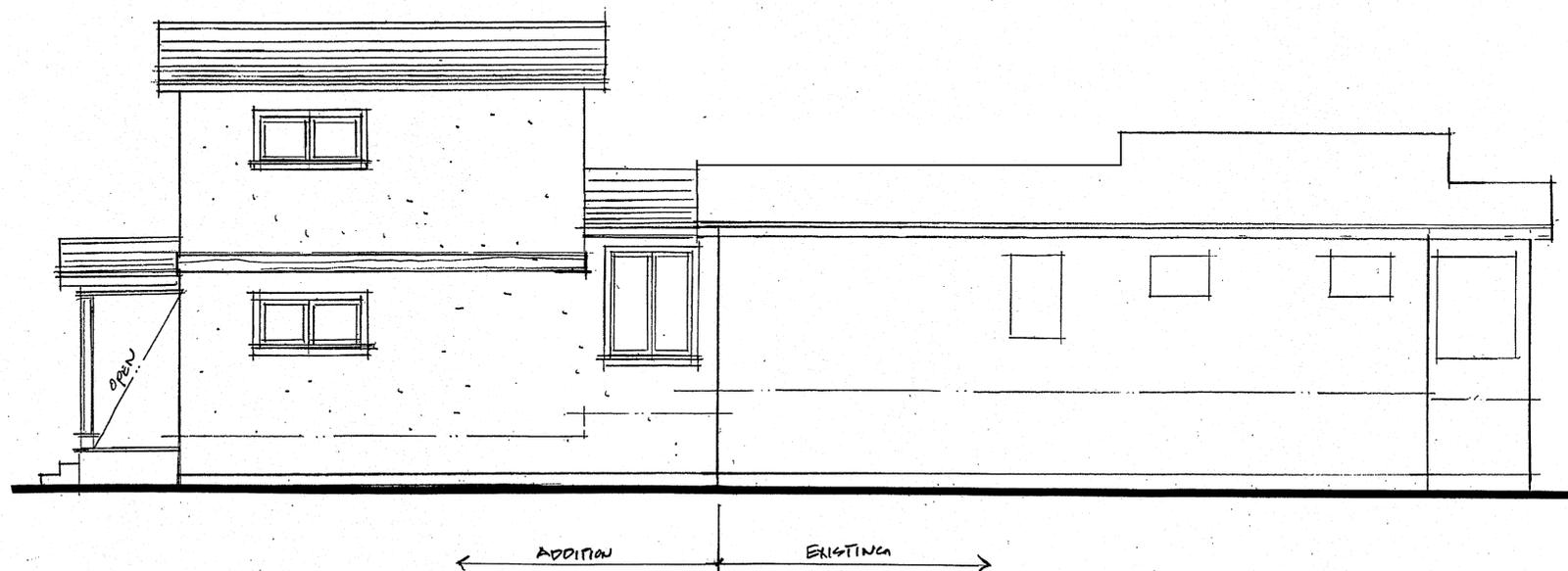
859 GREEN AVENUE
SAN BRUNO, CA.



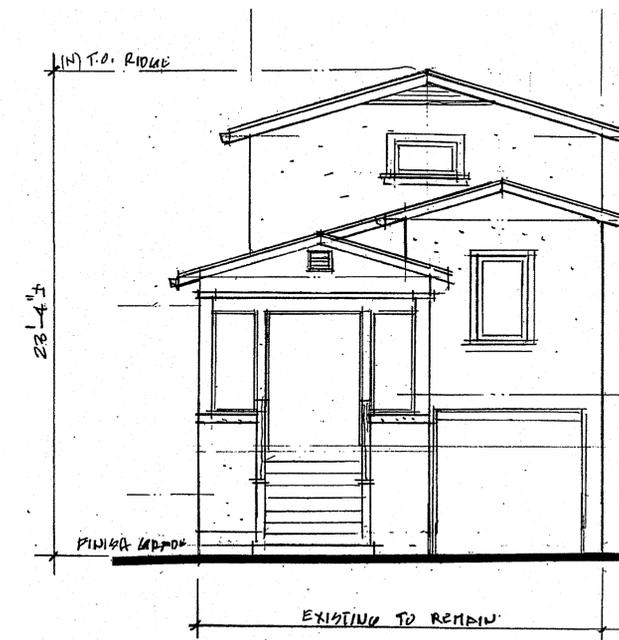
EXISTING LEFT SIDE ELEVATION (SOUTH)



EXISTING FRONT ELEVATION (EAST)



LEFT SIDE ELEVATION (SOUTH)

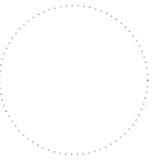


FRONT ELEVATION (EAST)

MARK	DATE	DESCRIPTION

PROJECT NO: **ROLANDO**
DATE: **3/3/2016**
DRAWN BY:
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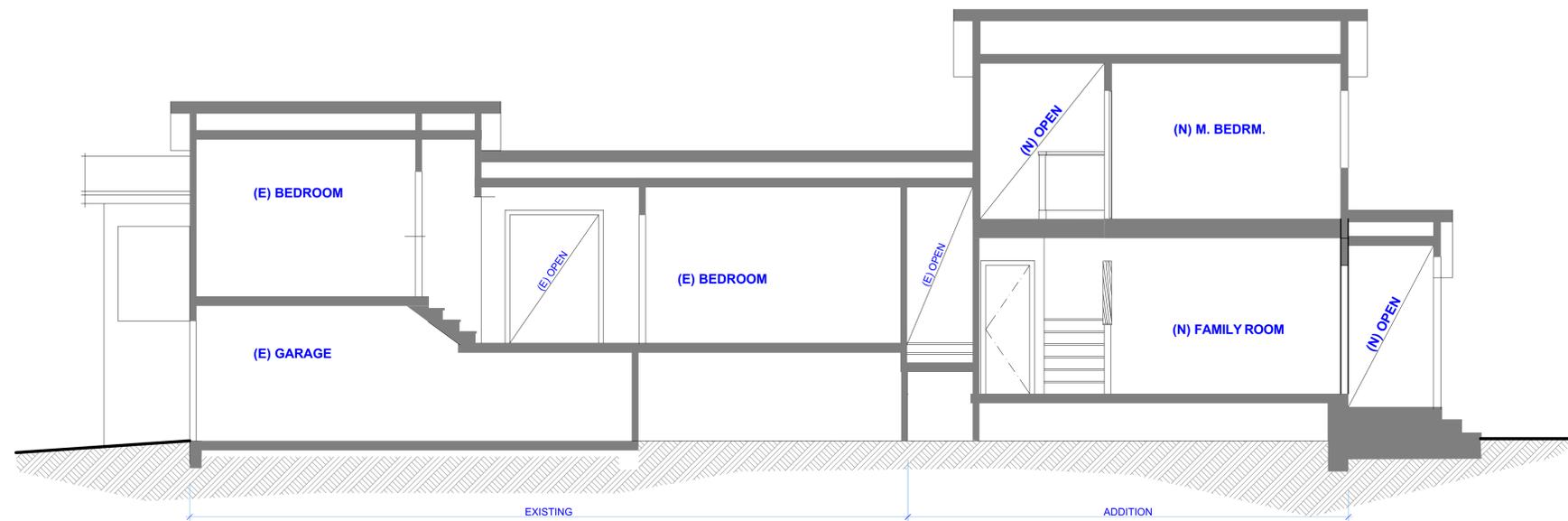
SHEET TITLE
ELEVATIONS



ADDITION FOR:

**JACQUELIN
AND JOSE
MENA**

859 GREEN AVENUE
SAN BRUNO, CA.



1 SECTION A-A
SCALE: 1/4" = 1'-0"

MARK	DATE	DESCRIPTION

PROJECT NO: **ROLANDO**
DATE: **3/3/2016**
DRAWN BY:
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SHEET TITLE

SECTION

A-5

Exhibit E



City of San Bruno
 Building Safety Division
 567 El Camino Real
 San Bruno, CA 94066

Permit Center: (650) 616-7076
 Inspection Request: (650) 616-7074
 Fax: (650) 873-6749

2013 CALIFORNIA GREEN BUILDING STANDARD CODE (CGC) RESIDENTIAL CHECKLIST

New residential buildings shall be designed to include the green building mandatory measures specified in this checklist. This checklist shall also be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to the specific area of the addition or alteration.

BUILDING PERMIT NO.: _____
 ADDRESS: 859 Green. st. San Bruno

MANDATORY
 MEASURES
 SPECIFIED
 (Please check
 boxes below)

Feature or Measure	Yes
SITE DEVELOPMENT	
A plan has been developed and will be implemented to manage storm water drainage during construction per CGC 4.106.2 & 4.106.3	<input checked="" type="checkbox"/>
WATER EFFICIENCY AND CONSERVATION	
Plumbing fixtures (Water closets and urinals) shall comply with the following:	
The effective flush volume of all water closets shall not exceed 1.28 gal/flush (CGC 403.1.1)	<input checked="" type="checkbox"/>
The effective flush volume of urinals shall not exceed 0.5 gal/flush (CGC 403.1.2)	<input checked="" type="checkbox"/>
Fittings (faucets and showerheads) have all required standards listed on plans and are in accordance to CGC 4.303.1.3 and CGC 403.1.4	<input checked="" type="checkbox"/>
Automatic irrigation system controller for landscaping provided by the builder and installed at the time of final inspection shall comply with CGC 4.304	<input checked="" type="checkbox"/>
ENHANCED DURABILITY AND REDUCED MAINTENANCE	
Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be rodent proofed by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency per CGC 4.406.1	<input checked="" type="checkbox"/>
CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING	
A minimum of 65% of the non-hazardous construction and demolition waste generated at the site shall be diverted to an offsite recycle, diversion, or salvage facility per CGC 4.408	<input checked="" type="checkbox"/>
BUILDING MAINTENANCE AND OPERATION	
An operation and maintenance manual will be provided to the building occupant or owner per CGC 4.410.1	<input checked="" type="checkbox"/>
ENVIRONMENTAL QUALITY	
Any gas fireplaces shall be a direct-vent sealed-combustible type.	<input checked="" type="checkbox"/>
Any wood stove or pellet stove shall comply with US EPA Phase II emission limits per CGC 4.503.1	<input checked="" type="checkbox"/>
POLLUTANT CONTROL	
At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution components openings shall be covered with tape, plastic, sheet metals, or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris, which may enter the system per CGC 4.504.1.	<input checked="" type="checkbox"/>
Adhesive, sealants and caulks shall meet the VOC or other toxic compound limits per CGC 4.504.2.1.	<input checked="" type="checkbox"/>
Paints and coatings shall comply with VOC limits per CGC 4.504.2.2.	<input checked="" type="checkbox"/>
Aerosol paints and coatings shall meet the Product-weighted MIR limits for ROC and other requirements per CGC 4.504.2.3.	<input checked="" type="checkbox"/>
Documentation will be provided, at the request of the Building Division, to verify compliance with VOC finish materials per CGC 4.504.2.4.	<input checked="" type="checkbox"/>
Carpet system installed in the building interior shall meet the testing and product requirement per CGC 4.504.3.	<input checked="" type="checkbox"/>
Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the requirements per CGC 4.504.4.	<input checked="" type="checkbox"/>
Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior and exterior of the building shall comply with the low formaldehyde emission standards per CGC 4.504.5.	<input checked="" type="checkbox"/>

Feature or Measure	Yes
INTERIOR MOISTURE CONTROL	
A capillary break shall be installed if a slab on grade foundation system is used. The use of a 4" thick base of 1/2" or larger clean aggregate under a 6 mil vapor retarder with joint lapped not less than 6" will be provided per CGC 4.505.2 and CRC R506.2.3.	<input checked="" type="checkbox"/>
Building materials with visible signs of water damage shall not be install. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be checked prior to finish material being applied per CGC 4.505.3.	<input checked="" type="checkbox"/>
INDOOR AIR QUALITY AND EXHAUST	
Exhaust fans, which are ENERGY STAR compliant and be ducted to terminate outside the building, shall be provided in every bathroom per CGC 4.506.1.	<input checked="" type="checkbox"/>
ENVIRONMENTAL COMFORT	
Heating and air-conditioning system shall be sized, designed and have their equipment selected using the following methods: 1. Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2004 or equivalent; 2. Duct systems are sized according to ANSI/ACCA 1, Manual D-2009 or equivalent; 3. Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2004 or equivalent.	<input checked="" type="checkbox"/>
INSTALLER AND SPECIAL INSPECTOR QUALIFICATION	
HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognize training or certification program per CGC 702.1.	<input checked="" type="checkbox"/>
VERIFICATION	
Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the building department which will show substantial conformance.	<input checked="" type="checkbox"/>

Responsible Designer's Declaration Statement	Contractor Declaration Statement
I hereby certify that this project has been designed to meet the requirements of the 2013 California Green Building Standards Code.	I hereby certify, as the builder or installer under the permit listed herein, that this project will be constructed to meet the requirements of the California Green Building Standards Code.
Name: Warren Huey	Name: Mena Plastering
Signature:	Signature: <i>Jose M</i>
Date: 2-22-2016	Date: 2-22-2016
Company: WH. DRAFTING	License: 625577
Address: warren 9250@yahoo.com	Address: 6651 Runny Meade DR.
City: 415-531-1878 State: Zip:	City: Placerville State: CA Zip: 95667

415-420-6362.



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David Woltering, AICP, *Community Development Director*
Mark Sullivan, AICP, *Long Range Planning Manager*
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PLANNING COMMISSION

Rick Biasotti, *Chair*
Marie Kayal, *Vice Chair*
Kevin Chase
Mary Lou Johnson
Sujendra Mishra
Perry Petersen
Joe Sammut

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. 5.B.
April 5, 2016**

Project Address: 110 Elm Avenue
Assessor's Parcel No: 020-414-300
Application No.: UP-16-001
Zoning District: R-1 (Single-Family Residential)
General Plan Classification: Low Density Residential
Prepared by: Michael Smith, (650) 616-7062

REQUEST

Request for a Use Permit to allow the construction of a two-story addition at the south side of a single-family dwelling that would add 1,738 square feet of floor area to the existing dwelling thereby increasing its floor area by more than 50% (172%) per Section 12.200.030 of the San Bruno Municipal Code (S.B.M.C.). The finished house would have 2,738 square feet of gross floor area, including the garage. Jason Lui (Applicant and Owner).

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit 16-003 based on Findings 1-6, and subject to Conditions of Approval 1-28.

PROJECT DESCRIPTION

The applicant is proposing to construct a 1,738 square foot two-story addition at the south side of an existing one-story single-family dwelling, which will increase the gross floor area of the existing home by greater than 50% (172%). The ground floor of the addition would house a two car garage with a family room, half bath, and laundry area located behind the garage. The second floor of the addition would include two bedrooms and two full baths. The existing home would be reclad in stucco that would match the stucco finish of the addition. The existing front windows would be replaced such that all windows match. If approved and constructed, the residence would become a four bedroom, three and a half bath home, with a total of 2,328 square feet of habitable area, not including the garage.

ARCHITECTURAL REVIEW COMMITTEE

The Architectural Review Committee (Commissioners Johnson, Chase, Sammut) reviewed this project at its March 10, 2016 meeting. The Architectural Review Committee forwarded the project to the Planning Commission with no additional comments.

ENVIRONMENTAL REVIEW

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301.e: Existing Facilities.

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on March 24, 2016.
2. Advertisement published in the San Mateo Daily Journal, Saturday, March 26, 2016.

PUBLIC COMMENT

A member of the public came to the counter on 3/31 to express her concern about the project but did not wait to speak to Planning staff and did not leave her name or contact information.

REVIEWING AGENCIES

Community Development Department
Public Services Department
Fire Department

EXISTING CONDITIONS

The subject property is located on Elm Avenue between Santa Lucia and San Felipe Avenues in the San Bruno Park subdivision. The subject lot measures 50'-0" in width, 100'-0" in depth, and 5,000 square feet in area. The property is currently developed with a one-story single-family dwelling that contains two bedrooms, one bath, and a single car garage within a total gross floor area 1,010 square feet (garage included). The home was constructed in 1931 and is located on the north side of the property. The building is nonconforming because it does not respect the required side setback at the north side. The building is set back 25'-0" from the south side property line which gives the appearance of a vacant lot. Immediately adjacent to the subject property are single-family dwellings.

ADDITIONAL INFORMATION

- **Accessory Structures:** There are no accessory structures located on the subject property.
- **Code Enforcement:** There are no active Code Enforcement cases.
- **Easements:** There are no easements located on the subject property.
- **Heritage Trees:** There are no heritage trees located on-site but the existing street tree is also a heritage tree.
- **Previous additions or alterations:** There have been no previous additions or alterations to the subject property.

SURROUNDING LAND USES

North: San Felipe Avenue – R-1 (Single Family Residential)
South: Santa Lucia Avenue – R-1 (Single Family Residential)
East: Poplar Avenue – R-1 (Single Family Residential)
West: Acacia Avenue – R-1 (Single Family Residential)

PROJECT DETAILS SUMMARY

SITE CONDITIONS		ZONING REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS
Land Use		R-1	R-1	Same
Lot Area		5,000 s.f. 5,000 s.f. adjusted	5,000 s.f. 5,000 s.f. adjusted	Same
Lot Coverage		2,200 s.f. (44%)	1,010 s.f. (20%)	2,000 s.f. (40%)
Gross Floor Area		2,750 s.f.*	1,010 s.f.	2,748 s.f.
Floor Area Ratio		.55	.20	.549
Building Setbacks	Front	15'-0"	9'-6"	Same
	Rear	10'-0"	37'-6"	35'-0"
	R Side	5'-0"	25'-0"	5'-0"
	L Side	5'-0"	none	Same
Building Height		28'-0"	15'-0"	22'-0"
Covered Parking		2 spaces	1 space	2 spaces

Notes:

*See Chart 1 in Section 12.96.060 of the SBMC for the floor area ratio adjustment factor for lot size.

**Max. FAR = Lot size X adjustment factor X ratio

Square Footage Breakdown:

	Ground floor	Second Floor	Garage	Total
Existing	826	0	184*	1,010
Proposed	553	765	420	1,738
Total	1,379	765	420	2,748

Notes:

*Existing 184 square foot garage space to be converted into habitable area.

STAFF'S PROJECT ANALYSIS

The applicant is proposing to construct a 1,738 square foot, two-story addition at the south side of the building. A Use Permit is required because the addition would increase the gross floor area of the existing home by greater than 50% (172%). The proposal would otherwise meet the lot coverage, floor area ratio, and height requirements of the zoning district. Specifically, the proposed gross floor area is 2,748 square feet, which corresponds to a .549 FAR. The addition would be approximately seven feet taller than the existing building.

Although the addition is sizable relative to the existing building, staff finds that the design of the project complies with the Residential Design Guidelines because it would be well integrated and respect the scale, bulk, and character of homes in the adjacent neighborhood. The homes within the immediate neighborhood are very diverse in style and size. Some homes are 25'-0" in width with no side setbacks while others are much wider and include side setbacks. In addition, some homes are two stories in height while others are single story. Though the proposed addition would add height and width to the home it would do so in a manner that responds to the varied texture of the neighborhood. For example, the front

wall of the addition would be set behind the existing front wall which breaks up the added building width. The two story portion of the addition would also be articulated with a large portion of the second story front wall stepped back from the ground floor wall below. The two story wall along the southern edge of the building would also be offset at the center of the second floor with windows for visual interest. These offsets and setbacks articulate the building's form and break down its scale.

The addition would infill a vacant portion of the lot within the buildable area. The vacant portion of the lot is atypical for the neighborhood and does not contribute to the neighborhood character because it is located behind a fence.

The existing 184 square foot garage would be converted into habitable space and a new two car garage would be constructed at the ground floor of the addition. The offset of the addition would help to emphasize the building's front entrance within the plane that is closer to the street and deemphasize the new garage entrance within the plane that is set further back.

Concerning the proposed landscape plan, staff will include a condition that requires the applicant to submit a final more detailed landscaping and irrigation plan prior to issuance of building permit as required by the Zoning Code.

FINDINGS

*Pursuant to the City's Municipal Code, the Commission shall grant the Use Permit if it makes the following findings. Required findings are in **bold** followed by staff's analysis of the merits of the project and how the findings can be made.*

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the home will be constructed according to the California Building Code (CBC) and, therefore, will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

- 2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)**

The applicant is proposing a two story addition that will be located on the side of the building. The proposal will benefit the City and the surrounding neighborhood by improving the property in a well-designed manner. Therefore, staff finds that the project will not be detrimental to improvement in the neighborhood or to the general welfare of the City.

- 3. That the proposed development is consistent with the San Bruno General Plan. (SBMC 12.108.050.B.3)**

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the General Plan designation.

General Plan Policy LUD-3 states, "protect the residential character of established neighborhoods by

ensuring that new development conforms to surrounding design and scale.” The proposal will be complementary to other single-family homes in the area. The design of the project reinforces the residential character of the neighborhood.

- 4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (12.108.040.D).**

The project would not unreasonably restrict light and air to adjacent properties because it would be located adjacent to a detached garage that does not contain habitable space. Furthermore, the addition would respect the 5'-0" side setback requirement. The adjacent property to the north of the subject property would not be impacted because the addition would be located on the opposite side of the lot.

New second floor windows are proposed for the building's south elevation but they would not impact the adjacent neighbor's privacy because they are small bathroom windows that are located over 5'-0" above the floor and only intended to provide light and ventilation. The neighboring windows are also located more than 25'-0" away from the proposed windows which is more than enough space to provide light, air, and privacy to the adjacent property.

The proposed expansion also meets the floor area, lot coverage, setback, and height requirements of the zoning district. Specifically, the proposed floor area is 2,748 square feet, which corresponds to a .549 FAR, where .55 is the threshold. The lot coverage calculation amounts to 2,000 square feet (40%), which is less than the 44% lot coverage threshold. The side and rear setbacks for the proposed addition are all in compliance with the setback requirements. The height of the home would be 22'-0", which is less than the 28'-0" height limit of the R-1 zone.

- 5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G).**

The proposed addition would utilize stucco cladding and composition roofing material, which is consistent with homes within the immediate neighborhood. The proposed expansion also meets the lot coverage, setback, and height requirements of the zoning district. Therefore, staff finds that the general appearance of the proposed addition will be in keeping with the character of the neighborhood and will not be detrimental to the City.

- 6. That any proposed single-family or two-family dwelling conform to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.I).**

Staff finds that the proposed addition conforms to the basic design principles of the Residential Design Guidelines. The addition would be well articulated as described above, would be well integrated with the existing building, and would incorporate materials that are prevalent within the neighborhood; therefore, the existing architectural character of the neighborhood will not be affected.

CONDITIONS OF APPROVAL

Community Development Department

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 16-001 shall not be valid for any purpose. Use Permit 16-001 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for Use Permit shall be built according to plans approved by the Planning Commission on April 5, 2016 labeled Exhibit D except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The home shall be used only as a single-family residential dwelling unit. No portion of any residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the California Building Code. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance.
8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning, Building, and Public Services staff to ensure compliance with the conditions of approval during the construction process.
9. Prior to Final Inspection, the site shall be landscaped according to the plans approved by the Planning Commission on April 5, 2016 and any site landscaping damaged during construction shall be replanted to the satisfaction of the Community Development Director.
10. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.

11. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.
12. Comply with the 2013 California Codes, including the California Residential Code.
13. The applicant shall submit a final more detailed landscaping and irrigation plan prior to issuance of building permit as required by the Zoning Code.

Public Services Department

14. The front property line is located 2.0 feet behind the sidewalk on Elm Avenue. No fences, retaining walls, or other permanent structure shall be placed or constructed within this 2.0 foot area. S.B.M.C. 8.08.010.
15. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all existing and proposed grading and drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
16. Show on the plans flow line diagrams for cold water lines, hot water lines, gas lines, and sanitary sewer lines to include all existing and proposed systems in accordance with the applicable California Building Code 2013.
17. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02, dated June 2015. Older clean outs not meeting current City standards shall be replaced.
18. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property shall be removed and replaced. Remove and replace all damaged and/or broken sidewalk at front of property for all locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010.
19. Obtain an Encroachment Permit from Public Services Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit.
20. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing water meter is sufficient to serve proposed water demand. If the existing meter is undersized a new meter will be required including water and sewer capacity charges based on the size of the new water meter installed along with materials and installation charges for an upgraded water meter. Please indicate on the plans the location and size of the existing water meter and the available water pressure at the property. For additional information, attached are Calculation Procedures and the estimated water pressure available near the property is 95 psi static. S.B.M.C. 10.14.020/110.
21. Prior to final inspection, paint the address number on face of the curb near the driveway approach

with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted.

22. An erosion control plan and storm water pollution prevention plan is required. The applicant shall show existing storm drain inlets and other storm water collection locations protected by silt screens or silt fence. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
23. Show on plans how storm water shall be collected from downspouts and other on-site drainage and drained into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary and confirm that the new stairwell structure will not block existing surface drainage patterns.
24. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for review.

Fire Department

25. Address numbers to be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
26. Provide hard-wired smoke detectors with battery backup as required by building code.
27. Provide spark arrester for chimney if not currently in place.
28. Fire Sprinklers are required for the addition portion of the project and recommended for the existing portion of the building.

Date of Preparation: March 30, 2016
Prepared by: Michael Smith, Senior Planner

EXHIBITS

- A.** Site Location
- B.** Photographs
- C.** Colors and Materials
- D.** Plans
- E.** Green Building Statement

**110 Elm Avenue
020-414-300
UP-16-001**



Exhibit A: Site Location

Exhibit B: Photographs



Subject Site



Property to the North (left)



Property to the South (right)



Properties across street



Properties across street



Brown Beige Charcoal

COLOR &
MATERIALS BOARD
FOR 110 ELM AVE
SAN BRUNO, CA

PAVER WALKWAY - CALSTONE



Brownwood

SHINGLE ROOF - OWENS CORNING



KM5712-3 Cookie Crumb

EXTRIOR STUCCO COLOR - KELLY MOOR



Fixed skylights

- Economical choice to transform dark spaces with natural light.
- Factory-installed blinds available.

Deck mounted - Model FS, FSR
Curb mounted - Model FCM
Self-flashed - Model QPF

10 VELUX



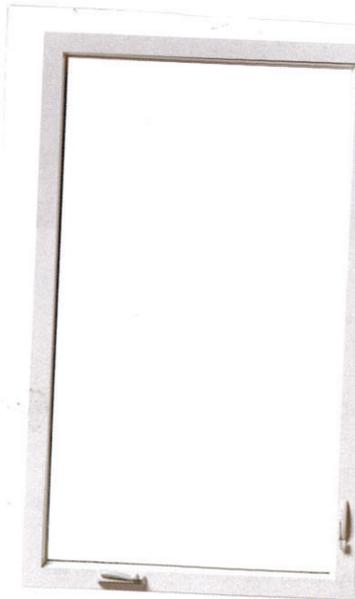
Self-flashed

- Pre-attached pan flashing that mounts directly to the roof deck
- Requires roofing sealant for a weather-tight installation



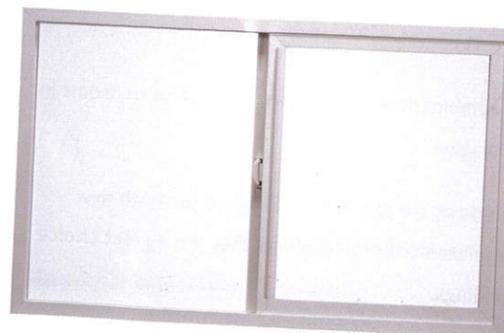
14° - 60°

SKYLIGHT - VELUX



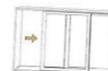
Casement

Min 1'6"x1'8" - Max 3'x6'
Structural Class LC-35



Horizontal Slider

(Half Vent)
Min 2'x1' - Max 6'x6'
Structural Class LC-25



WINDOW TYPE - MILGARD

Exhibit C

23 Swiss Coffee

EXTRIOR TRIM
COLOR - KELLY MOOR



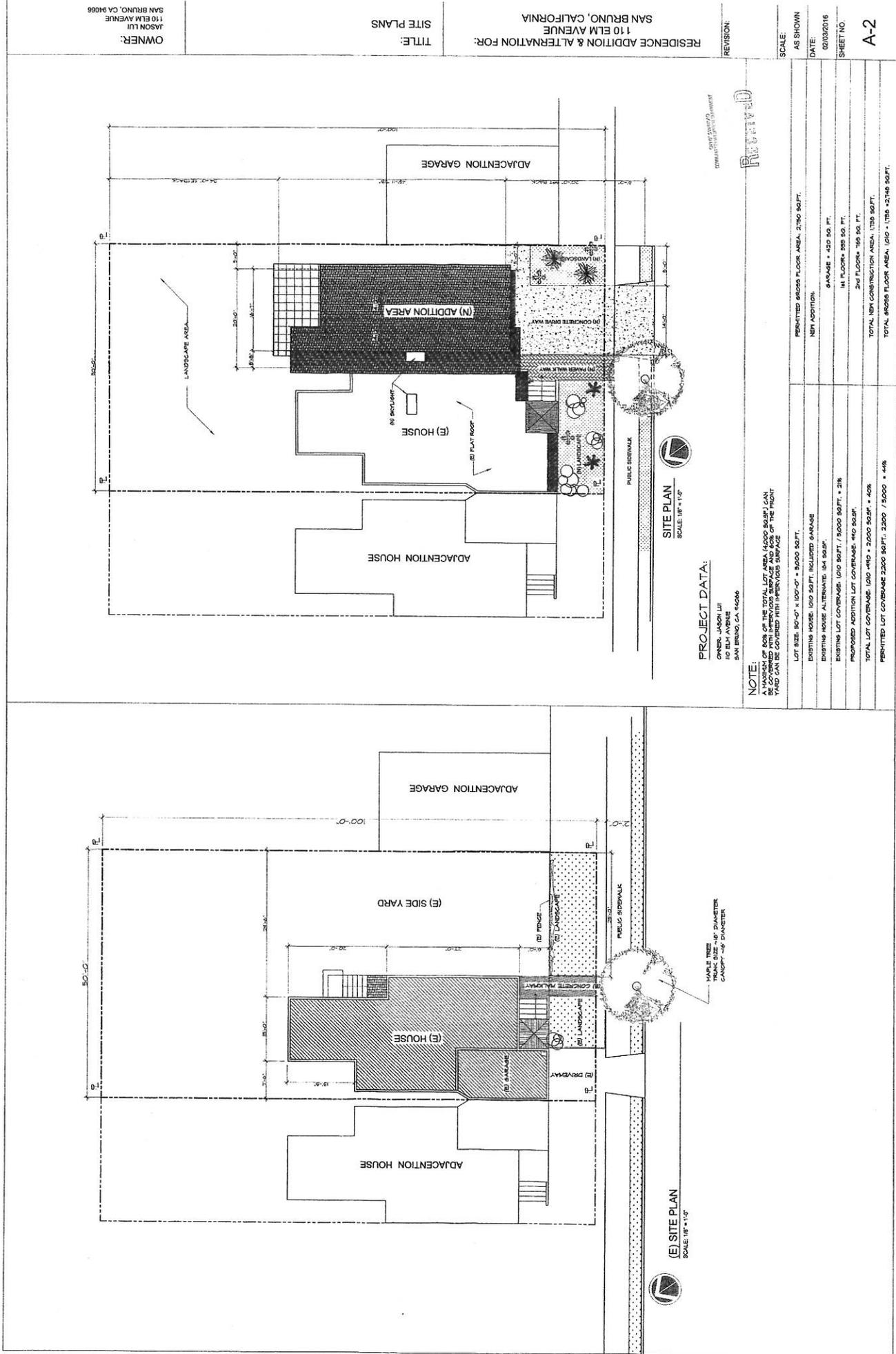
SH-600 | Stain Antique Mahogany
30"W, 32"W x 80"H | Glass B
36"W, 42"W x 80"H

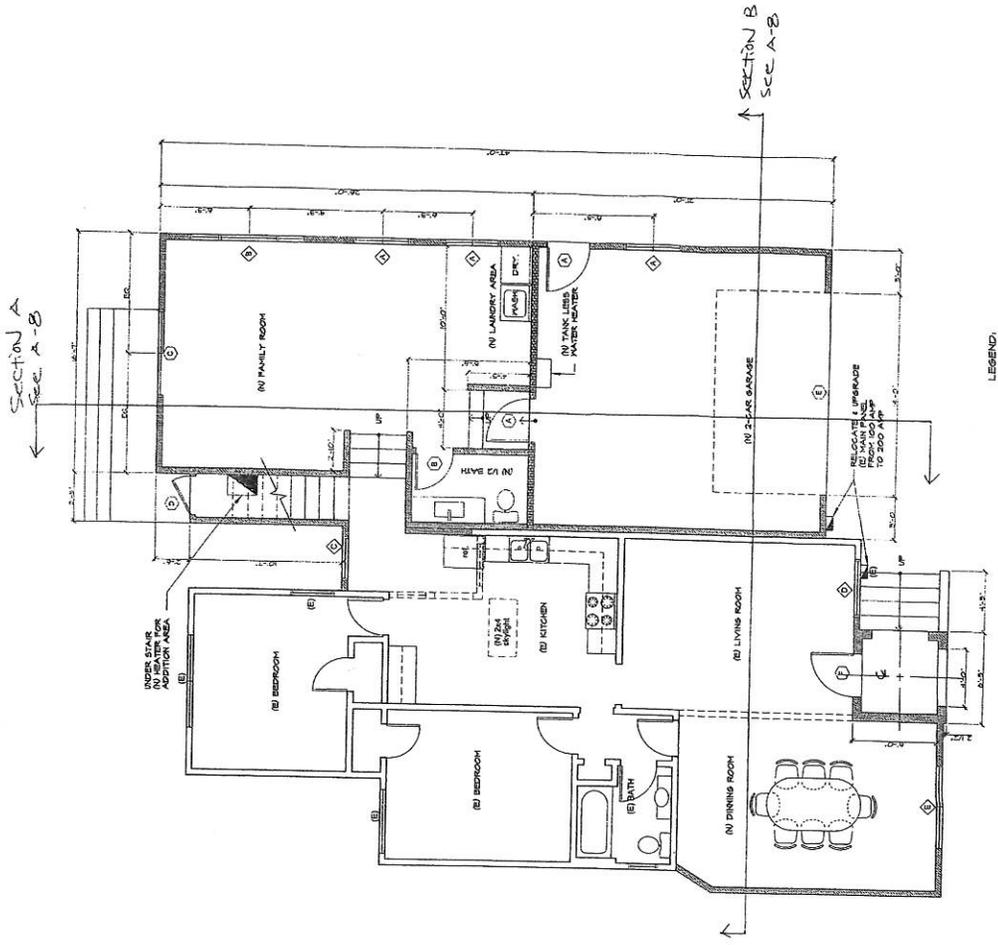
ENTRY DOOR - MAIN DOOR CORPORATION



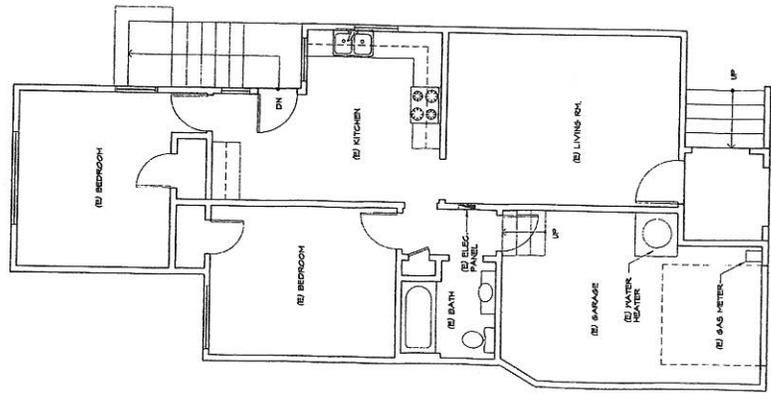
GARAGE DOOR - CLOPAY

Exhibit D





PROPOSED FLOOR PLAN - 1ST LEVEL
 SCALE: 1/4" = 1'-0"



(E) FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PLAN NOTES

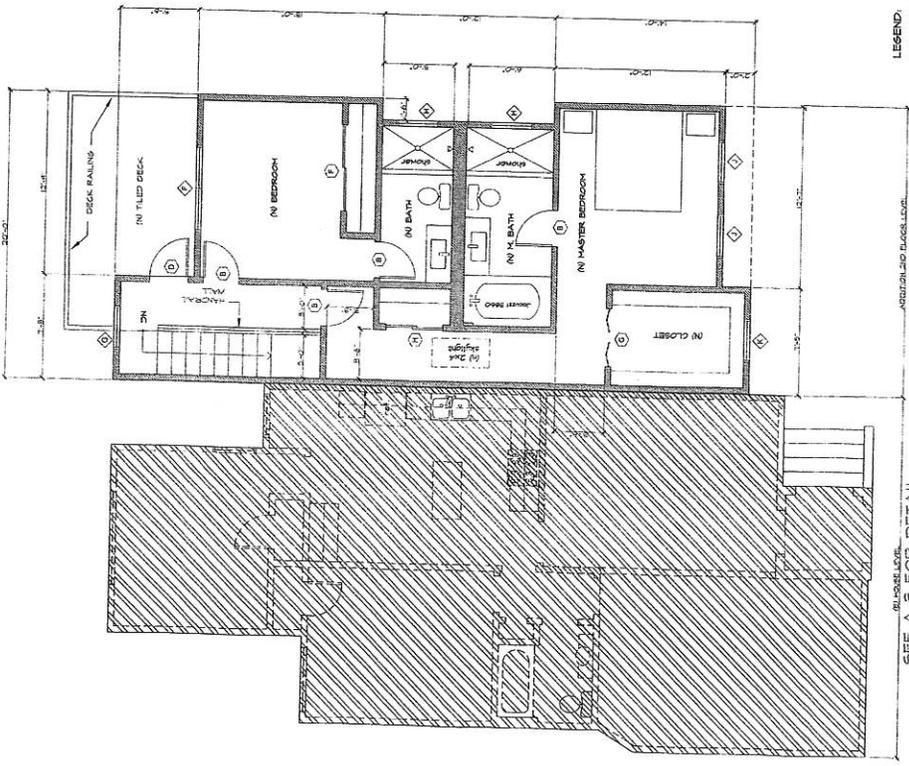
1. INSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRULY AND FREE OF OVERLAPMENTS. ALL SURFACES TO RECEIVE FINISHES SHALL BE PROTECTED FROM DAMAGE PRIOR TO APPLICATION OF FINISHES. ALL SURFACES SHALL BE PROPERLY PREPARED, TYPED, AND FINISHED.
2. PRIOR TO APPLICATION OF PAINT, ALL SURFACES SHALL BE PROPERLY PREPARED AND FINISHED PRIOR TO APPLICATION OF PAINT.
3. ALL WALL COVERINGS SHALL BE TAPPED, SMOOTHED AND FINISHED PRIOR TO APPLICATION OF PAINT.
4. WALL COVERINGS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
5. MAXIMUM VERTICAL CHANGE IN FINISH FLOOR LEVEL SHALL BE 1/4".
6. CARPET SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
7. MANUFACTURER'S RECOMMENDATIONS FOR ADHESIVE AND DISCRETE JOINTS SHALL BE USED.
8. INSTALL RESILIENT DOVE-TYPE FLOOR FINISH TRANSITION STRIP WHERE TRANSITION OCCURS BETWEEN TWO DIFFERENT FLOOR FINISHES.
9. TILE FLOORING IS HAZARDOUS LOCATIONS SHALL BE LABELED SAFETY GLAZING WHEN LESS THAN 40" ABOVE THE DRAIN.
10. HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A LABEL, PREVALENT IF TYPED.
11. ALL CONTROLS FOR BATHS, LAUNDRY AND KITCHEN ARE HAZARDOUS AND SELECTED BY OWNER.
12. ALL TRANSITIONS BETWEEN MATERIAL ARE SHOWN, SEE ARCH. DETAILS.
13. 2" x 6" ATTIC ACCESS, MIN. REALLY ACCESSIBLE WITH MIN. 30" CLEAR HEAD ROOM.
14. WALL COVERINGS IN SHOWERS AND TUBS TO BE GROUT BLASTER, TILE OR EQUAL, TO 6" ABOVE SHOWERS, TUBS AND TUBS. ALL TUBS AND SHOWERS SHALL BE GROUTED SAFETY GLAZING AND DOORS MUST BE 6" ABOVE THE DRAIN.
15. ALL GLAZING IN HAZARDOUS LOCATIONS MUST BE IDENTIFIED BY A LABEL, PREVALENT IF TYPED.
16. HAZARDOUS LOCATIONS ARE IDENTIFIED AS FOLLOWS:
 A. SAFETY GLAZING (SGL)
 B. GLAZING IN BATH AND SHOWER ENCLOSURES
 C. GLAZING WITH A 2" GAP ON TOP OF A DOOR EDGE
 D. GLAZING WITH A 2" GAP ON BOTTOM OF STAIRWAYS WITH BOTTOM EDGE LESS THAN 40" ABOVE FINISH FLOOR
 E. GLAZING WITH A 2" GAP ON TOP OF A DOOR EDGE
 F. GLAZING WITH A 2" GAP ON BOTTOM OF STAIRWAYS WITH BOTTOM EDGE LESS THAN 40" ABOVE FINISH FLOOR
 G. GLAZING WITH A 2" GAP ON TOP OF A DOOR EDGE
 H. GLAZING WITH A 2" GAP ON BOTTOM OF STAIRWAYS WITH BOTTOM EDGE LESS THAN 40" ABOVE FINISH FLOOR

MECHANICAL/PLUMBING REQUIREMENTS:

1. A 1/2" MIN. ACCESS PANEL TO BATHS TRAP CONNECTION IS REQUIRED UNLESS PLUMBING IS WITHOUT TRAP JOINTS.
2. FLOOR FLOW RATE IS 1.25 gpm / min. SHOWER HEADS IS 2.5 gpm.
3. SHOWER OR TUB-SHOWERS, MAX. TEMPERATURE OF 120° TO 130° F. MAX. TEMPERATURE OF 120° TO 130° F. MAX. TEMPERATURE OF 120° TO 130° F. MAX. TEMPERATURE OF 120° TO 130° F.
4. HOSE BIBBS SHALL BE FITTED WITH A NON-REMOVABLE BACK FLOW DEVICE.
5. GLAZING IN BATH AND SHOWER ENCLOSURES SHALL BE IDENTIFIED BY A LABEL, PREVALENT IF TYPED. ALL GLAZING IN BATH AND SHOWER ENCLOSURES SHALL BE IDENTIFIED BY A LABEL, PREVALENT IF TYPED. ALL GLAZING IN BATH AND SHOWER ENCLOSURES SHALL BE IDENTIFIED BY A LABEL, PREVALENT IF TYPED.

PLAN KEY:

- ⊕ DOOR TYPE
- ⊕ WINDOW TYPE

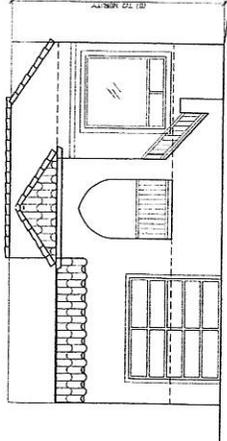


- LEGEND:**
- EXISTING WALL
 - - - - WALL TO BE REMOVED
 - ▨ 1/2" RATE FIRE WALL
 - ▨ NEW CONSTRUCTION WALL

SEE A-3 FOR DETAIL

PROPOSED FLOOR PLAN - 2ND LEVEL

SCALE: 1/4" = 1'-0" (SCALE: 1/4" = 1'-0")



(E) FRONT ELEVATION
SCALE: 1/4" = 1'-0"

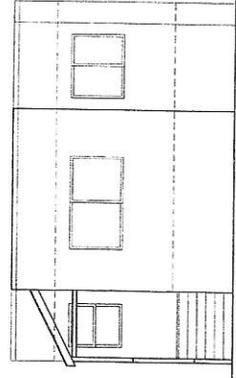
ELEVATION NOTES:

- 1 COMPOSITION ROOF SHINGLES
HAZEL, GREEN CORNERS
TYPE: Trudefinition Division Shingles
COLOR: BROWNWOOD
- 2 STUCCO - GLASS FIBER REINFORCED STUCCO SYSTEM
MANUFACTURER'S SPECIFICATIONS.
- 3 FACIA - REFER TO DETAIL.
- 4 WINDOW PER WINDOW SCHEDULE.
- 5 DOOR PER DOOR SCHEDULE.

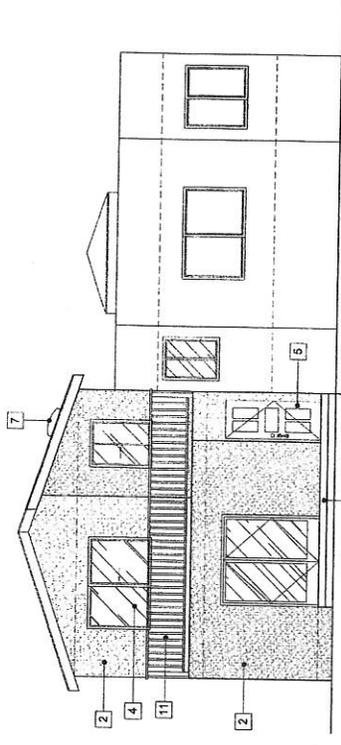


(N) FRONT ELEVATION
SCALE: 1/4" = 1'-0"

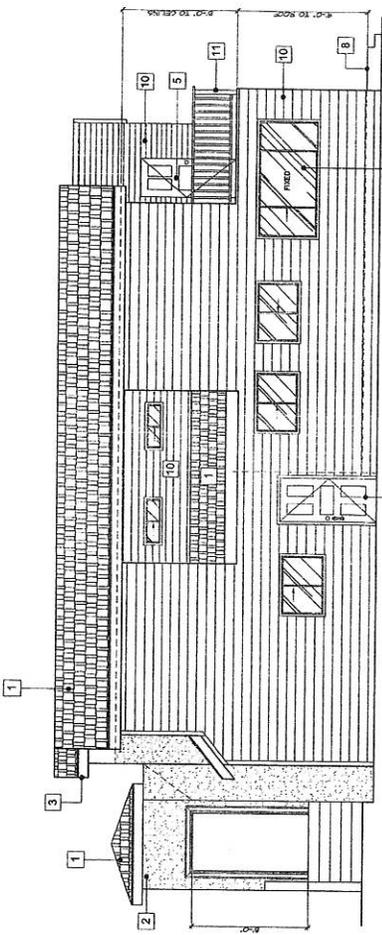
- 6 GARAGE DOOR
HAZE, CLOPPY,
DESIGN: DISMAN 49
TOP SECTION - REGIA
- 7 SKYLIGHT - REFER TO ROOF PLAN NOTES.
HAZE, VELUX AMERICA, INC.
(VELUX ROOF WINDOWS & SKYLIGHTS)
TYPE: FIXED SKYLIGHT - FS COMFORT
PS OR
ROUGH OPENING: 20 1/2" x 44 1/2"
FINISHED FINISHING OPENING: 20 1/2" x 45 1/2"
ENCL-075
- 8 CONCRETE SLAB, SEE PLAN
- 9 METAL RAILING AND GATE
- 10 WOOD GRAIN HANDIE PLANK
- 11 REDWOOD DECK RAILING
- 12 STUCCO GOAT WINDOCK AND DOOR TRIM, SEE DETAIL SHEET



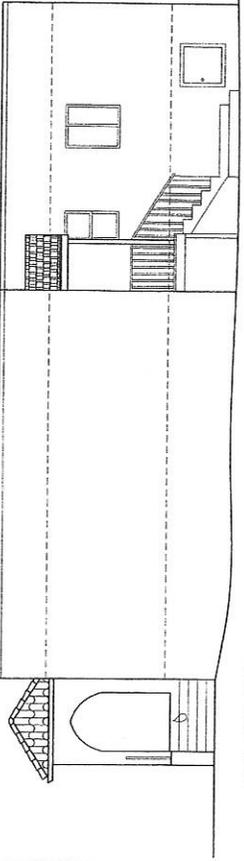
(E) REAR ELEVATION
SCALE: 1/4" = 1'-0"



(N) REAR ELEVATION
SCALE: 1/4" = 1'-0"



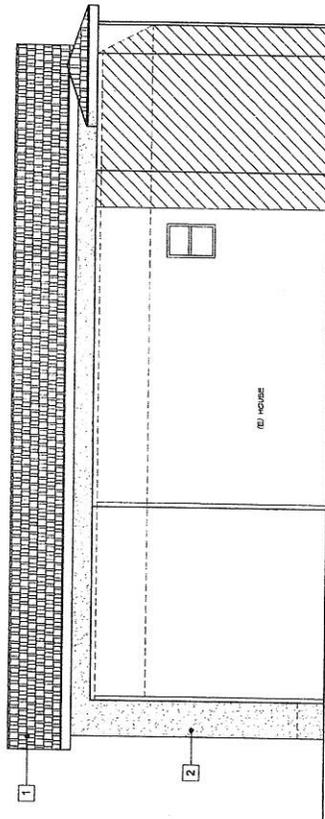
(N) LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



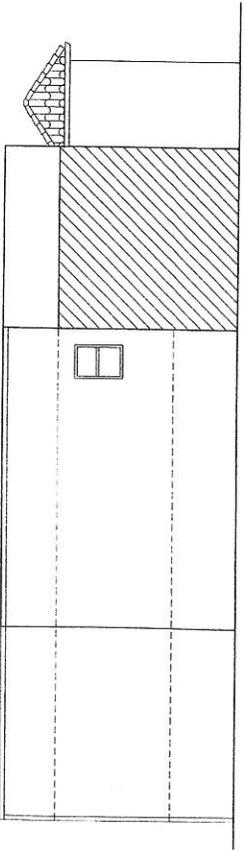
(E) LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- 1 COMPOSITION ROOF SHINGLES
MAKE: GYPS CORNING
TYPE: Tri-Phanition Division Shingles
COLOR: BROWNWOOD
- 2 BRUGGAS GLASS FIBER REINFORCED STUCCO SYSTEM
INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 3 FACIA - REFER TO DETAIL.
- 4 FINCON PER WINDOW SCHEDULE.
- 5 DOOR PER DOOR SCHEDULE.
- 6 GARAGE DOOR PER DOOR SCHEDULE.
- 7 SKYLIGHT - REFER TO ROOF PLAN NOTES.
- 8 MAKE: VELUX
TYPE: VELUX ROOF WINDOWS & SKYLIGHTS
MODEL: FINED SKYLIGHT - FS CONFORT
FINISH: ROOF WINDOWS: 20" x 46"
SKYLIGHTS: 20" x 46"
FINISH: FRAMING: 20" x 46"
L350 NO. 2R-4078
- 9 CONCRETE SLAB, SEE PLAN
- 10 METAL RAILING AND SATE
- 11 HOOD BRUN HANDLE PLANK
- 12 REDWOOD DECK RAILING
- 13 STUCCO COAT WINDOW AND DOOR TRIM, SEE DETAIL SHEET



(N) RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



(E) RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

OWNER:
 JACKSON LLI
 110 ELM AVENUE
 SAN BRUNO, CA 94066

TITLE:
 SECTIONS

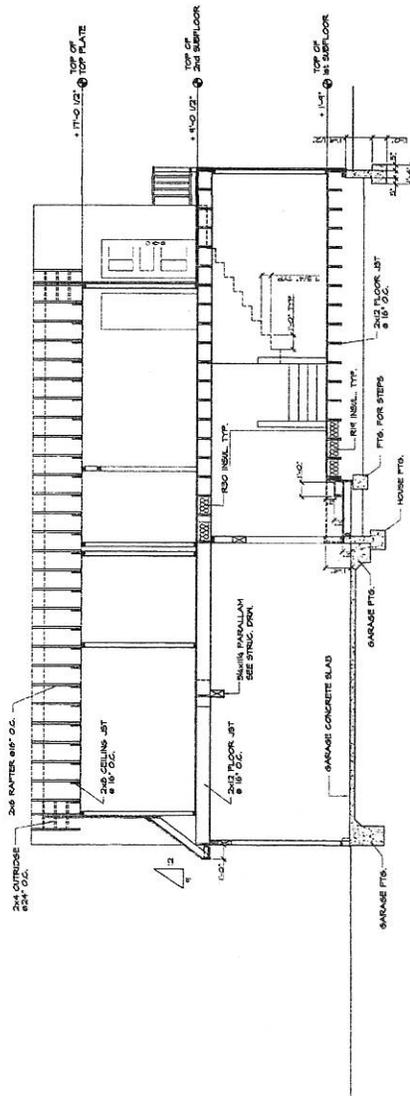
RESIDENCE ADDITION & ALTERNATION FOR:
 110 ELM AVENUE
 SAN BRUNO, CALIFORNIA

REVISION:

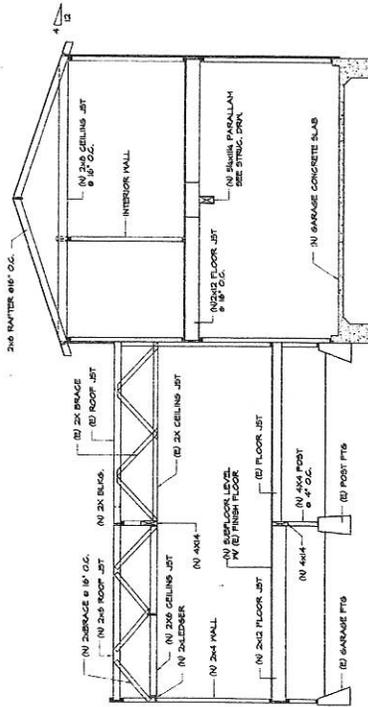
SCALE:
 AS SHOWN

DATE:
 02.04.2016

SHEET NO.
 A-8



SECTION - A
 SCALE: 1/4" = 1'-0"



SECTION - B
 SCALE: 1/4" = 1'-0"

Exhibit E



City of San Bruno
 Building Safety Division
 567 El Camino Real
 San Bruno, CA 94066

Permit Center: (650) 616-7076
 Inspection Request: (650) 616-7074
 Fax: (650) 873-6749

2013 CALIFORNIA GREEN BUILDING STANDARD CODE (CGC) RESIDENTIAL CHECKLIST

New residential buildings shall be designed to include the green building mandatory measures specified in this checklist. This checklist shall also be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to the specific area of the addition or alteration.

BUILDING PERMIT NO.:

ADDRESS:

110 Elm Ave, San Bruno, CA 94066

**MANDATORY
 MEASURES
 SPECIFIED**
 (Please check
 boxes below)

Feature or Measure	Yes
SITE DEVELOPMENT	
A plan has been developed and will be implemented to manage storm water drainage during construction per CGC 4.106.2 & 4.106.3	<input checked="" type="checkbox"/>
WATER EFFICIENCY AND CONSERVATION	
Plumbing fixtures (Water closets and urinals) shall comply with the following:	
The effective flush volume of all water closets shall not exceed 1.28 gal/flush (CGC 403.1.1)	<input checked="" type="checkbox"/>
The effective flush volume of urinals shall not exceed 0.5 gal/flush (CGC 403.1.2)	<input checked="" type="checkbox"/>
Fittings (faucets and showerheads) have all required standards listed on plans and are in accordance to CGC 4.303.1.3 and CGC 403.1.4	<input checked="" type="checkbox"/>
Automatic irrigation system controller for landscaping provided by the builder and installed at the time of final inspection shall comply with CGC 4.304	<input checked="" type="checkbox"/>
ENHANCED DURABILITY AND REDUCED MAINTENANCE	
Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be rodent proofed by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency per CGC 4.406.1	<input checked="" type="checkbox"/>
CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING	
A minimum of 65% of the non-hazardous construction and demolition waste generated at the site shall be diverted to an offsite recycle, diversion, or salvage facility per CGC 4.408	<input checked="" type="checkbox"/>
BUILDING MAINTENANCE AND OPERATION	
An operation and maintenance manual will be provided to the building occupant or owner per CGC 4.410.1	<input checked="" type="checkbox"/>
ENVIRONMENTAL QUALITY	
Any gas fireplaces shall be a direct-vent sealed-combustible type.	<input checked="" type="checkbox"/>
Any wood stove or pellet stove shall comply with US EPA Phase II emission limits per CGC 4.503.1	<input checked="" type="checkbox"/>
POLLUTANT CONTROL	
At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution components openings shall be covered with tape, plastic, sheet metals, or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris, which may enter the system per CGC 4.504.1.	<input checked="" type="checkbox"/>
Adhesive, sealants and caulks shall meet the VOC or other toxic compound limits per CGC 4.504.2.1.	<input checked="" type="checkbox"/>
Paints and coatings shall comply with VOC limits per CGC 4.504.2.2.	<input checked="" type="checkbox"/>
Aerosol paints and coatings shall meet the Product-weighted MIR limits for VOC and other requirements per CGC 4.504.2.3.	<input checked="" type="checkbox"/>
Documentation will be provided, at the request of the Building Division, to verify compliance with VOC finish materials per CGC 4.504.2.4.	<input checked="" type="checkbox"/>
Carpet system installed in the building interior shall meet the testing and product requirement per CGC 4.504.3.	<input checked="" type="checkbox"/>
Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the requirements per CGC 4.504.4.	<input checked="" type="checkbox"/>
Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior and exterior of the building shall comply with the low formaldehyde emission standards per CGC 4.504.5.	<input checked="" type="checkbox"/>

Feature or Measure	Yes
INTERIOR MOISTURE CONTROL	
A capillary break shall be installed if a slab on grade foundation system is used. The use of a 4" thick base of 1/2" or larger clean aggregate under a 6 mil vapor retarder with joint lapped not less than 6" will be provided per CGC 4.505.2 and CRC R506.2.3.	<input checked="" type="checkbox"/>
Building materials with visible signs of water damage shall not be install. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be checked prior to finish material being applied per CGC 4.505.3.	<input checked="" type="checkbox"/>
INDOOR AIR QUALITY AND EXHAUST	
Exhaust fans, which are ENERGY STAR compliant and be ducted to terminate outside the building, shall be provided in every bathroom per CGC 4.506.1.	<input checked="" type="checkbox"/>
ENVIRONMENTAL COMFORT	
Heating and air-conditioning system shall be sized, designed and have their equipment selected using the following methods: 1. Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2004 or equivalent; 2. Duct systems are sized according to ANSI/ACCA 1, Manual D-2009 or equivalent; 3. Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2004 or equivalent.	<input checked="" type="checkbox"/>
INSTALLER AND SPECIAL INSPECTOR QUALIFICATION	
HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognize training or certification program per CGC 702.1.	<input checked="" type="checkbox"/>
VERIFICATION	
Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the building department which will show substantial conformance.	<input checked="" type="checkbox"/>

Responsible Designer's Declaration Statement			Contractor Declaration Statement		
I hereby certify that this project has been designed to meet the requirements of the 2013 California Green Building Standards Code.			I hereby certify, as the builder or installer under the permit listed herein, that this project will be constructed to meet the requirements of the California Green Building Standards Code.		
Name:			Name: JASON LUI		
Signature:			Signature: <i>[Signature]</i>		
Date:			Date: 2-2-16		
Company:			License: CA 916258		
Address:			Address: 248 HANOVER ST, CA 94112		
City:	State:	Zip:	City: San Francisco	State: CA	Zip: 94112



567 El Camino Real
San Bruno, CA 94066
Voice: (650) 616-7074
Fax: (650) 873-6749
www.sanbruno.ca.gov

STAFF

David Woltering, AICP, *Community Development Director*
Mark Sullivan, AICP, *Long Range Planning Manager*
Michael Smith, *Senior Planner*
Matt Neuebaumer, *Associate Planner*
Paula Bradley, AICP, *Contract Associate Planner*
Matt Jones, *Contract Assistant Planner*
Marc Zafferano, *City Attorney*

PLANNING COMMISSION

Rick Biasotti, *Chair*
Marie Kayal, *Vice Chair*
Mary Lou Johnson
Kevin Chase
Sujendra Mishra
Perry Petersen
Joe Sammut

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. 5.C.
April 5, 2016**

Project Address: 139 Florida Avenue
Assessor's Parcel No: 020-375-130
Application No.: UP-15-001, PE-16-003
Zoning District: R-2 (Low Density Residential)
General Plan Classification: Low Density Residential
Prepared by: Paula Bradley, AICP, (650) 616-7038

REQUEST

Request for a Use Permit to construct a 1,010 square foot first and second floor addition with a detached 426 square foot garage, increasing the gross floor area from 1,070 square feet to 2,296 square feet, thereby increasing the gross floor area of the existing home by greater than 50% (115%); and a Parking Exception to allow tandem garage parking spaces, per Sections 12.200.030.B.1, 12.96.070.D.10.c, and 12.200.80.C of the of the San Bruno Municipal Code. Echo Liu (Applicant), Shui Ben Lau (Owner).

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit-15-001 and Parking Exeption-16-003 with staff recommendations based on Findings 1-6 and subject to Conditions of Approval 1-28.

PROJECT DESCRIPTION

The applicant is proposing to construct a new 1,010 square two story addition and a new detached 426 square foot garage, increasing the gross floor area from 1,070 square feet to 2,296 square feet, including the garage, and a floor area ratio (FAR) of 0.53 where 0.55 is the maximum permitted. Also proposed is tandem garage parking in a new 426 square-foot garage. With the approval and the construction of this proposed project, it would resolve a code enforcement case (CE1309-0010) for illegal construction, regarding a 210 square-foot room and bathroom on the ground floor and the rear deck and stairs. If approved, the two-bedroom, two-bath residence would become a three-bedroom, two-and-a-half bathroom home with a total floor area of 1,870 square feet of habitable area, not including the 426 square foot garage.

ARCHITECTURAL REVIEW COMMITTEE

The Architectural Review Committee (Commissioners Johnson, Chase, Sammut) reviewed this project at its March 10, 2016 meeting. Members asked about: the general layout, the height of the "crawl space", internal circulation, the first floor office and bathroom layout, and the angled wall along the east property line. Staff required that the full bathroom in the ground floor office be removed since there was no

internal circulation, but did not restrict the ground floor bathroom off the family room to a half bathroom. The wall along the east property line is angled due to the irregular shape of the lot (pie shape) and that wall maintains at 5'-4" side setback along that property line. Committee members would like more green (plants) and also suggested an artificial turf option instead of to the proposed decomposed granite landscaping material and instead. Staff responded that rock is not uncommon for low-water use or xeriscape landscaping as an alternative to lawn, and suggested that the applicant add more plants with larger planted areas. Members recommended that the applicant work with staff to revise the landscaping plan to add more plant material.

The applicant proposed a revised landscape plan with larger and additional planted areas. The landscaping percentage has not changed – it is 21% for the site where 15% is required. The impervious area in the front yard setback is 33% where the maximum allowed is 60%. The zoning code does not specify the density of plantings in landscaped areas. Proposed in between the planter areas are decomposed granite, boulders and trees. The landscape plan has elements of a Japanese style garden, which the proposed materials are commonly utilized. A final landscaping and irrigation plan is required to be submitted and approved by staff prior to prior to issuance of building permits. A condition of approval is included specifying requirements such as mulch and methods to contain the decomposed granite which is finer grade rock that rock typically used in landscaping, and to prevent weeds. Additional plants and trees suitable to the local conditions are required to be incorporated into the planter areas.

ENVIRONMENTAL REVIEW

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301.e: Existing Facilities.

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on March 24, 2016.
2. Advertisement published in the San Mateo Daily Journal, Saturday, March 26, 2016

PUBLIC COMMENT

The neighbor who lives in the adjacent home attended the Architecture review Committee meeting. She asked: 1) how the applicant would access the side (west side has less than one foot side setback) to install the siding; 2) was concerned about previous multiple units and multiple cars parking; 3) she stated that the previous owner allowed trash in the backyard creating a potential health and safety hazard. Staff responded that it is a good question, and that she would ask the owner how they would install siding. Staff did a site visit and there was no trash in the yard. Staff has included a standard condition of approval to require that the residence be restricted to one unit, and condition that the full bathroom be removed from the office with no internal circulation to the second floor of the home. No additional comments have been received as of the completion of this staff report.

REVIEWING AGENCIES

Community Development Department
Public Services Department
Fire Department

EXISTING CONDITIONS

The subject property is located in the historic "Cupid's Row" (heart) residential area on Florida Avenue between Milton and Huntington Avenues in the San Bruno Park 3 subdivision. The subject lot is

substandard in size (3,998 square feet), irregularly shaped with a fifty-foot wide front and a 32-foot wide rear property line. The existing right side setback is also substandard, varying between three feet at the front side and one foot at the rear side. The property is currently developed with a two-story dwelling with two bedrooms and two bathrooms, 860 square feet of living space on the upper floor, a 210 square-foot detached garage, and a 214 square foot unpermitted room with a full bathroom on the ground floor. The total gross floor area is 1,070 square-feet, not including the illegal office and bathroom. An unpermitted 166-square foot second floor covered deck and stairs is at the rear of the home.

ADDITIONAL INFORMATION

- **Accessory Structures:** There is a 210 square foot detached garage located on the subject property.
- **Code Enforcement:** There is an open code enforcement case for this property (CE1309-0010) for illegal construction, including the 210 square -foot room and bathroom on the ground floor and the rear deck and stairs (the bathroom and deck are required to be removed).
- **Easements:** There are no easements on the property.
- **Heritage Trees:** There are no heritage trees located on the property.
- **Previous additions or alterations:** None, there are no building permits issued in the record.

SURROUNDING LAND USES

North: Sylvan Avenue – R-2 (Low Density Residential)
 South: Cupid Row – R-2 (Low Density Residential)
 East: Huntington Avenue - U (Unclassified (Caltrain tracks))
 West: Milton Avenue – R-2 (Low Density Residential)

PROJECT DETAILS SUMMARY

SITE CONDITIONS		ZONING REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS
Land Use		R-2	R-2	Same
Lot Area		5,000 s.f. 4,318 s.f. adjusted	3,998 s.f. 4,318 s.f. adjusted	Same
Lot Coverage		2,019 s.f. (47%)	1,070 s.f (25%).	1,719 s.f. (40%)
Gross Floor Area		2,375 s.f.*	1,070 s.f.	2,296 s.f.
Floor Area Ratio		0.55	0.25	0.53
Building Setbacks	Front	15'-0"	10'-6" (at closest point)	Same
	Rear	10'-0"	13'-8" (at closest point)	same
	R Side	5'-0"	1'-0" (at closest point)	Same
	L Side	5'-0"	16'-0 (at closest point)	5'-3" (at closest point)
Building Height		28'-0"	19'-6"	20'-2"
Covered Parking		2 spaces	1 space	2 spaces (tandem)

Notes:

*See Chart 1 in Section 12.96.060 of the SBMC for the floor area ratio adjustment factor for lot size.

**Max. FAR = Lot size X adjustment factor X ratio

Square Footage Breakdown:

	Ground floor	Second Floor	Garage	Total
Existing	0	860	210 (demo)	860
Proposed	355	655	426	1,436
Total	355	1,515	426	2,296

STAFF'S PROJECT ANALYSIS

A Use Permit is required as the addition would increase the gross floor area of the residence by more than 50%. As proposed it will increase from 1,070 square feet to 2,296 square feet (50% is 535 square feet) and the FAR will increase to 0.53 (existing is 0.25) where 0.55 is allowed. On the ground level, the 140 square-foot room has no internal circulation with the second floor of the single family dwelling, and therefore the full bathroom is required to be removed. Proposed is the addition of a 215 square-foot family room and a half bathroom on the ground floor. Most of the existing ground level cannot be habitable as it does not have the required ceiling height (7'-6"), except for the area where the unpermitted office/room and full bathroom are located. On the plans this area is labeled "crawl space" and a condition of approval would restrict this area from living area. The proposed two-story addition would result in a split level home with the existing portion of the home having a lower floor level than the new are above the new garage and family room. A new 135-square foot second floor covered deck is proposed to be constructed to replace the unpermitted deck and stairs.

Approval of the Parking Exception to allow tandem parking is proposed for the new garage. Due to the existing two-level home without the required ceiling height on the ground level area, the irregular shape of the lot, and substandard lot size and setbacks, it is not possible to provide a two-car garage without tandem parking. The proposed new garage will meet the required 20-foot front setback.

The design of the addition is consistent with the character of the neighborhood and with the Residential Design Guidelines. The proposed addition would be well-integrated with the existing single-family dwelling as it blends with the existing style and most of the existing exterior elements will remain the same. The home was constructed in 1933 and is typical of the homes built at that time period and in the surrounding area. The front stairs lead to the living area on the upper floor with a small enclosed front porch, the roof is a flat parapet type with no overhang, a cantilevered second floor in the front with a window, with a façade with little architectural detail. The existing home exterior has wood shingles, is somewhat boxy, with a flat roof. Also typical of the neighborhood and the area, the property has a substandard size lot size and width, which does not meet current front or side setbacks. Immediately adjacent to the subject property are two-story, single-family and multi-family residential uses, and across the street one- and two-story homes. Staff recommends a condition of approval that the applicant remove the unpermitted bathroom and any existing unpermitted utilities to the source, and that no living space be created in the crawl space which does not meet the minimum ceiling height (7'-6") for habitable area.

The proposed expansion will utilize exterior materials including cementitious horizontal lap siding (similar to Hardie board), a flat, parapet type roof similar to the existing roof style. Exterior colors are ginger tea (medium beige) body, gutters and downspouts, a crimson garage door, white wood trim around the white vinyl windows and doors, and a black metal railing on the rear deck. The new white metal garage roll-up door will include lites along the top.

The proposed second floor deck is to the rear of the home and does not create a privacy issue. The deck is enclosed on the sides, only open to the rear without stairs and overlooks shed on the adjacent property. According to Section 3.13.2 of the Residential Design Guidelines, second-story decks should not intrude on the privacy of adjacent neighbors or create a privacy concern. Concerning windows on the second floor Section 12.96.070.D.13 of the Zoning Code restricts second floor transparent windows where the adjacent property side setback is more than ten feet. The home to the east is two stories and has a 14' side setback in the front and five-foot setback in the rear. The proposed addition would include a bedroom window on the side toward the front of the adjacent home, which at that point has a six-foot side setback from the property line and has no window, therefore the proposed window does not create a privacy concern. To the rear, are windows on both homes side elevations; however, the side setback is less than ten feet and the windows are offset from each other. The two-story home to the west has a nine-inch side setback at the closet and no additional windows are proposed. The adjacent property to the south of the subject property is a two-story multi-family building.

The existing and proposed impervious surface is less than the maximum of 60% in the front yard setback (33%). The proposed lot coverage is proposed to be 43% where the maximum allowed is 85%. Concerning the proposed landscape plan, staff recommends that the applicant include: 1) additional appropriate shrubs and ground cover plants in the planter areas; with three inches of mulch; 2) that the soil be pretreated and utilize appropriate weed block to prevent weeds but allow storm-water percolation in the decomposed granite and planted areas; 3) and install a low-water use irrigation system as required by the Zoning Code.

FINDINGS

*Pursuant to the City's Municipal Code, the Commission shall grant the Use Permit if it makes the following findings. Required findings are in **bold** followed by staff's analysis of the merits of the project and how the findings can be made.*

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the home will be constructed according to the California Building Code (CBC) and, therefore, will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

- 2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)**

The applicant is proposing a 1,010 square foot first and second floor addition with a detached 426 square foot garage, increasing the existing gross floor area from 1,070 square feet to 2,296 square feet, and increasing the gross floor area by more than 50%. A Parking Exception is required to allow tandem

garage parking spaces. With the staff recommendations incorporated as part of the project plans, the proposal will benefit the City and the surrounding neighborhood by improving the property in a well-designed manner. Therefore, staff finds that the project will not be detrimental to improvement in the neighborhood or to the general welfare of the City.

3. That the proposed development is consistent with the San Bruno General Plan. (SBMC 12.108.050.B.3)

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the General Plan designation.

General Plan Policy LUD-3 states, "protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale." The proposal will be complementary to other single-family homes in the area. The proposed addition is well-integrated with the existing single-family dwelling as it blends with the existing style and most of the existing exterior elements will remain the same. The design of the project reinforces the residential character of the neighborhood and conforms to the policy.

4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (12.108.040.D).

The design of the ground level addition is consistent with the character of the neighborhood and the Residential Design Guidelines. The proposed addition is well-integrated with the existing single-family dwelling as it blends with the existing style and most of the existing exterior elements will remain the same. The home was constructed in 1933 and is typical of the homes built at that time period and in the surrounding area. The front stairs lead to the living area on the upper floor with a small enclosed front porch, the roof is a flat parapet type with no overhang, a cantilevered second floor in the front with a window, with a façade with little architectural detail. The existing home is plain with a wood shingle exterior, somewhat box like with a flat roof. Also typical of the neighborhood and area, the property has a substandard size lot size and width, which do not meet current front or side setbacks. Immediately adjacent to the subject property are two-story, single-family and multifamily residential uses, and across the street one- and two-story homes. To the rear is a two-story multi-family residence.

The proposed second floor deck is to the rear of the home and does not create a privacy issue. The deck is enclosed on the sides, only open to the rear without stairs and overlooks shed on the adjacent property. According to Section 3.13.2 of the Residential Design Guidelines, second-story decks should not intrude on the privacy of adjacent neighbors or create a privacy concern. Concerning windows on the second floor Section 12.96.070.D.13 of the Zoning Code restricts second floor transparent windows where the adjacent property side setback is more than ten feet. The home to the east is two story has a 14' side setback in the front and five-foot setback in the rear. The proposed addition would include a bedroom window on the side toward the front of the adjacent home, which at that point has a six-foot side setback from the property line and has no window, therefore the proposed window does not create a privacy concern. To the rear are windows on both homes side elevations, but the side setback is less than ten feet and the windows are offset from each other.

The existing and proposed impervious surface does not exceed the maximum of 60% in the front yard setback (33%) consistent with section 12.96.070.D.6 of the Zoning Code. The proposed lot coverage is proposed to be 43% where the maximum allowed is 85%. The project does not exceed the maximum FAR or Lot Coverage

Therefore, the structure should not unreasonably restrict or interfere with light and air access on the property and on other property in the neighborhood, or hinder appropriate development and use of land and buildings in the neighborhood.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G).

The design of the ground level addition is consistent with the character of the neighborhood and the Residential Design Guidelines. The proposed addition would be well integrated with the existing single-family dwelling and would be compatible with the immediate neighborhood, which is characterized by one- and two-story single-family homes. The home was constructed in 1933 and is typical of the homes built at that period and in the surrounding area. The front stairs lead to the living area on the upper floor with a small enclosed front porch, the roof is a flat parapet type with no overhang, and a cantilevered second floor in the front with a window, and a façade with little architectural detail. The existing home is plain with a wood shingle exterior, somewhat box like with a flat roof. Also typical of the neighborhood and area, the property has a substandard size lot size and width, which do not meet current front or side setbacks.

Therefore the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood

6. That any proposed single-family or two-family dwelling conform to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.I).

Staff finds that the proposed addition conforms to the basic design principles of the Residential Design Guidelines, as described in above Findings No. 4 and 5 with the proposed recommendations listed below.

1. Include a condition of approval that the final landscaping plan required prior to issuance of building permits, include that the applicant include:
 - a. Drought-tolerant, low-water use shrubs and ground cover with three inch deep mulch in the planting areas. Include both hardy evergreen ground cover and dwarf shrubs (1 to 3 foot height) along the front sidewalk so as not create a visual barrier. Add similar plants in the planter areas in addition to the proposed clivia, so that plants are visible year round. Clivia could be used in the planter as an accent/seasonal color plant combined with other choices.
 - b. Plant selections should be suitable to the local conditions and design the irrigation plan to provide suitable and efficient water use;

- c. Pretreat the soil and utilize appropriate weed block to prevent weeds but allow storm water percolation including in the decomposed granite and planted landscaping areas;
- d. Decompact the soil in the planter areas and for the trees, and incorporate appropriate soil amendment to ensure that the plants will thrive and grow;
- e. Incorporate edging to contain the decomposed granite so that it does not spread onto paved areas such as the walk ways or the sidewalk.

The approved landscaping plan and irrigation system shall be installed as required by the Zoning Code, prior to certificate of occupancy or final.

CONDITIONS OF APPROVAL

Community Development Department

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 15-001 shall not be valid for any purpose. Use Permit 15-001 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for Use Permit shall be built according to plans approved by the Planning Commission on April 5, 2016 labeled Exhibit C except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The home shall be used only as a single-family residential dwelling unit. No portion of any residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the California Building Code. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance.
8. Prior to issuance of Certificate of Occupancy, the applicant shall remove the unpermitted full

bathroom and any existing unpermitted utilities to the source, and that no living space be created in the crawl space which does not meet the minimum ceiling height (7'-6") for habitable area.

9. The final landscaping and irrigation plan required to be submitted for review and approval prior to issuance of building permits shall include:
 - a. Drought-tolerant, low-water use shrubs and ground cover with three-inch deep mulch in the planting areas. Include both hardy evergreen ground cover and dwarf shrubs (1 to 3 foot height) along the front sidewalk so as not create a visual barrier. Add similar plants in the planter areas in addition to the proposed clivia. Clivia could be used in the planter as an accent/seasonal color plant combined with other evergreen choices.
 - b. Plant selections should be suitable to the local conditions and design the irrigation plan to provide suitable and efficient water use;
 - c. Pretreat the soil and utilize appropriate weed block to prevent weeds but allow storm water percolation including in the decomposed granite landscaping areas;
 - d. Decomact the soil in the planted areas, and incorporate appropriate soil amendment to ensure that the plants will thrive and grow;
 - e. Incorporate edging to contain the decomposed granite so that it does not spread onto paved areas such as the walk ways, the driveway and the sidewalk.The approved landscaping plan and irrigation system shall be installed as required by the Zoning Code, prior to certificate of occupancy or final.
10. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning, Building, and Public Services staff to ensure compliance with the conditions of approval during the construction process.
11. Prior to Final Inspection, the site shall be landscaped according to the plans approved by the Planning Commission on April 5, 2016 and any site landscaping damaged during construction shall be replanted to the satisfaction of the Community Development Director.
12. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.
13. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.
14. Comply with the 2013 California Codes, including the California Residential Code.

Public Services Department

15. The front property line is located 2.0 feet behind the sidewalk on Florida Avenue. No fences, retaining walls, or other permanent structure shall be placed or constructed within this 2.0 foot area. S.B.M.C. 8.08.010.
16. Please include on the site plan all existing and proposed elevations and slopes for the drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.

17. Please provide a construction detail of the Open French Drain and show on plans how storm water will be discharged from the Drain. Foundations shall be protected from storm water and drainage onto adjacent properties shall not be allowed. Indicate on plans any pipes, swales, applicable ground percolation treatments or under sidewalk curb drains as necessary.
18. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02, dated June 2015. Older clean outs not meeting current City standards shall be replaced.
19. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property not caused by a City street tree shall be removed and replaced. Show on the plans the replacement of any locations where there are any raised or offset concrete sections greater than or equal to $\frac{3}{4}$ -inch. S.B.M.C. 8.12.010.
20. Obtain an Encroachment Permit from Public Works Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of any building permits.
21. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing water meter is sufficient to serve proposed water demand. If existing meter is undersized a new meter will be required including water and sewer capacity charges based on the size of the new water meter installed along with materials and installation charges for an upgraded water meter. Please indicate on the plans the location and size of the existing water meter and the available water pressure at the property. For additional information, attached are Calculation Procedures and the estimated water pressure available near the property is 95 psi static. S.B.M.C. 10.14.020/110.
22. Prior to final inspection, paint the address number on face of the curb near the driveway approach with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted.
23. An erosion control plan and storm water pollution prevention plan is required. The applicant shall show existing storm drain inlets and other storm water collection locations protected by silt screens or silt fence. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
24. Show on plans how storm water shall be collected from downspouts and other on-site drainage and drained into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary and confirm that the new stairwell structure will not block existing surface drainage patterns.
25. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for review.

Fire Department

26. Address numbers to be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
27. Provide hard-wired smoke detectors with battery backup as required by building code.
28. Provide spark arrester for chimney if not currently in place.

EXHIBITS

- A:** Site Location
- B:** Photographs
- C:** Colors and Materials
- D:** Site Plan, Existing and Proposed Floor Plans and Elevations and Roof Plan
- E:** Green Building Statement

139 Florida Avenue
APN: 020-375-130
UP-15-001, PE-16-003

Exhibit A: Site Location



Subject Site



East side yard and Detached Garage



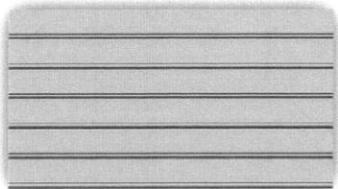
Side to the West



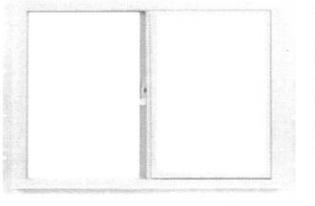


Across the Street

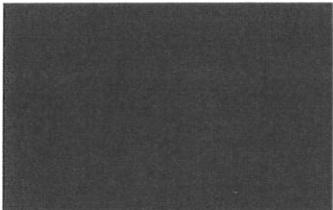
COLOR BOARD



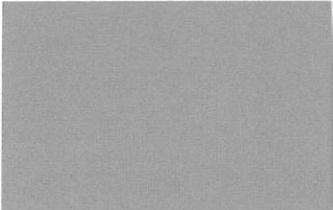
Cement lap siding
Color: Ginger tea



White vinyl window



Dark Crimson (Garage door color)



Ginger tea (Gutters & downspouts colors)



Black iron railing



STAMP

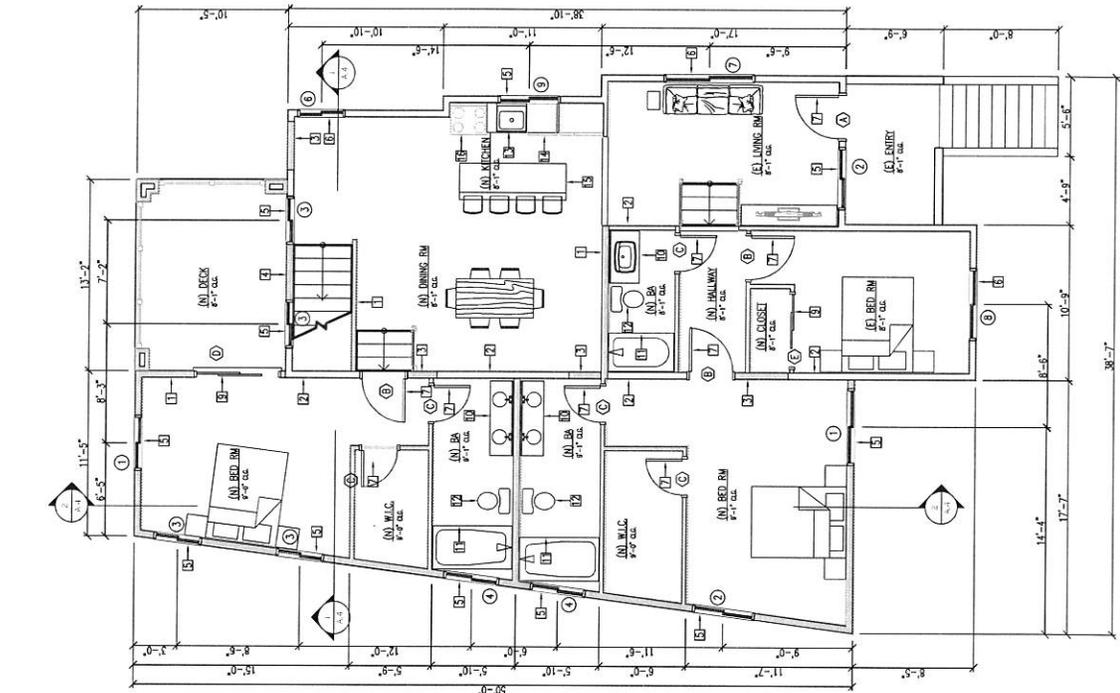
**PROPOSED
FLOOR PLANS**

PAPERM:	EL
DRAWN BY:	EL
JOB NO.:	0112

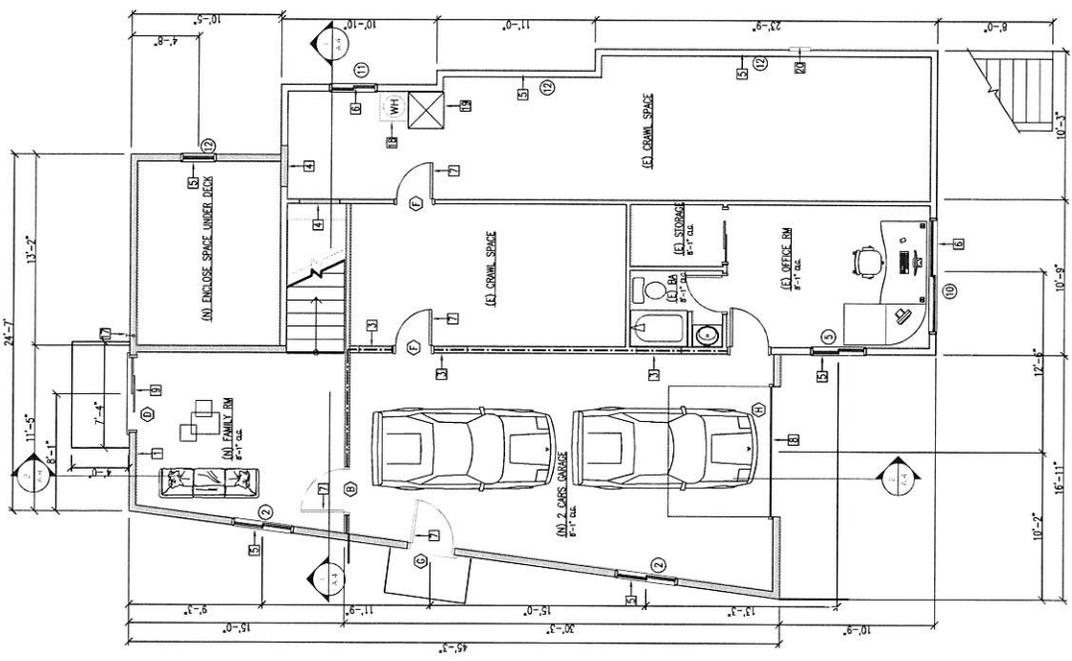
A.3

FLOOR PLAN KEY NOTES

- 1 NEW 2x STUD @ 16" O.C.
- 2 EXISTING 2x STUD @ 16" O.C.
- 3 EXISTING WINDOW OPENING TO BE FILLED
- 4 EXISTING DOOR OPENING TO BE FILLED
- 5 NEW WINDOW
- 6 EXISTING WINDOW
- 7 NEW HINGED DOOR
- 8 NEW GARAGE DOOR
- 9 NEW SLIDING DOOR
- 10 NEW LAVATORY
- 11 NEW BATHTUB
- 12 NEW TOILET
- 13 NEW KITCHEN SINK
- 14 NEW DISHWASHER
- 15 NEW KITCHEN ISLAND
- 16 NEW RANGE OVEN
- 17 NEW HOSE BIB
- 18 EXISTING WATER HEATER IN THE CRAWL SPACE
- 19 EXISTING FURNACE IN THE CRAWL SPACE
- 20 EXISTING ELECT PANEL 125 AMP SERVICE



PROPOSED 2ND FLOOR PLAN
Scale: 1/8" = 1'-0"



PROPOSED 1ST FLOOR PLAN
Scale: 1/8" = 1'-0"

4. SHOP DRAWINGS OF ALL WINDOWS MUST BE SUBMITTED AND APPROVED BY THE ARCHITECT PRIOR TO FABRICATION.
 5. ALL OPERABLE WINDOWS SHALL BE EQUIPPED WITH SECURITY OR INTRUSION RESISTANT GLASS.
 6. ALL NEW GLASS SHALL BE INSTALLED IN ACCORDANCE WITH THE AREA DIMENSION OF 20".
 7. FOR ALL EMERGENCY ACCESS EGRESS WINDOW LOCATIONS SET FLOOR FINISH. TEMPS ON EXTERIOR ELEVATIONS.

#	SIZE	TYPE	FINISH	FRAME	GLASS	OPERATION	PAINT	TEMP
5	36" X 48"	SLIDING	BRUSHED METAL	EXISTING				
6	36" X 48"	SLIDING	BRUSHED METAL	EXISTING				
7	72" X 48"	SLIDING	BRUSHED METAL	EXISTING				
8	48" X 48"	SLIDING	BRUSHED METAL	EXISTING				
9	48" X 36"	SLIDING	BRUSHED METAL	EXISTING				
10	36" X 48"	SLIDING	BRUSHED METAL	EXISTING				
11	36" X 48"	SLIDING	BRUSHED METAL	EXISTING				
12	36" X 36"	SLIDING	BRUSHED METAL	EXISTING				

1. REFERS TO PLANS FOR DOOR SWING DIRECTIONS.
 2. INDICATES GLASS TYPE AND SECURITY REQUIREMENTS.
 3. RECOMMENDATIONS FOR EXTERIOR DOORS SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
 4. ALL DOORS SHALL BE THROUGH WHICH OCCUPANTS ENTER OR EXIT THE BUILDING.
 5. GLAZING IN HAZARDOUS AREAS MUST BE TEMPERED OR LAMINATED GLASS.
 6. ALL GLAZING SHALL BE INSTALLED IN ACCORDANCE WITH THE AREA DIMENSION OF 20".
 7. FOR ALL EMERGENCY ACCESS EGRESS WINDOW LOCATIONS SET FLOOR FINISH. TEMPS ON EXTERIOR ELEVATIONS.

#	TYPE	FINISH	FRAME	GLASS	OPERATION	PAINT	TEMP
A	EXTENSION HINGED	BRUSHED METAL	EXISTING				
B	INTERIOR HINGED	BRUSHED METAL	EXISTING				
C	EXTENSION HINGED	BRUSHED METAL	EXISTING				
D	EXTENSION HINGED	BRUSHED METAL	EXISTING				
E	EXTENSION HINGED	BRUSHED METAL	EXISTING				
F	EXTENSION HINGED	BRUSHED METAL	EXISTING				
G	EXTENSION HINGED	BRUSHED METAL	EXISTING				
H	EXTENSION HINGED	BRUSHED METAL	EXISTING				

DOOR SCHEDULE

ALL DOORS SHALL BE MANUFACTURED BY ALO METALS AND SHALL BE AVAILABLE AT:
 ALO METALS, INC.
 10000 Wilshire Blvd, Suite C
 Los Angeles, CA 90024
 Tel: (310) 206-1100

DOOR NOTES

1. REFERS TO PLANS FOR DOOR SWING DIRECTIONS.
 2. INDICATES GLASS TYPE AND SECURITY REQUIREMENTS.
 3. RECOMMENDATIONS FOR EXTERIOR DOORS SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
 4. ALL DOORS SHALL BE THROUGH WHICH OCCUPANTS ENTER OR EXIT THE BUILDING.
 5. GLAZING IN HAZARDOUS AREAS MUST BE TEMPERED OR LAMINATED GLASS.
 6. ALL GLAZING SHALL BE INSTALLED IN ACCORDANCE WITH THE AREA DIMENSION OF 20".
 7. FOR ALL EMERGENCY ACCESS EGRESS WINDOW LOCATIONS SET FLOOR FINISH. TEMPS ON EXTERIOR ELEVATIONS.

WINDOW SCHEDULE

#	TYPE	FINISH	FRAME	GLASS	OPERATION	PAINT	TEMP
1	60" X 48"	SLIDING	BRUSHED METAL	BRUSHED METAL	BRUSHED METAL	BRUSHED METAL	EXISTING
2	48" X 48"	SLIDING	BRUSHED METAL	BRUSHED METAL	BRUSHED METAL	BRUSHED METAL	EXISTING
3	36" X 48"	SLIDING	BRUSHED METAL	BRUSHED METAL	BRUSHED METAL	BRUSHED METAL	EXISTING

WINDOW NOTES

1. REFERS TO PLANS FOR WINDOW SWING DIRECTIONS.
 2. ALL WINDOWS SHALL BE SOLID WOOD CORE AND GLAZED WITH LAMINATED GLASS.
 3. ALL TOPS OF DOOR UNITS SET THAT FINISHES OF DOOR LINE UP WITH FINISHES OF WINDOW UNITS.
 4. ALL NEW RAILINGS AT REAR SIDE ARE BLACK IRON RAILING.

PROPOSED ROOF PLAN



KEY NOTES

- 1. NEW VINYL WINDOW
- 2. EXISTING VINYL WINDOW
- 3. NEW HINGED DOOR
- 4. NEW GARAGE DOOR
- 5. NEW VINYL SLIDING DOOR
- 6. EXISTING ELECT PANEL 125 AMP SERVICE
- 7. NEW WALL MOUNT LIGHT
- 8. NEW IRON RAILING

NOTES:

1. THE ENTIRE BUILDING EXTERIOR IS GOING TO REPLACE WITH NEW CEMENTIOUS LAP SIDING PAINTING WITH GINGER TEA COLOR.
2. ALL NEW WINDOW TRIMS ARE BLACK.
3. ALL THE WINDOW TRIMS ARE WOOD PAINT WITH WHITE COLOR.
4. THE GARAGE DOOR IS WOOD PAINTING WITH DARK CRIMSON COLOR. ALL THE EXTERIOR SLIDING DOORS ARE WHITE VINYL.
5. ALL THE GUTTERS AND DOWNSPOUTS ARE VINYL PAINTING WITH GINGER TEA COLOR.
6. ALL NEW RAILINGS AT REAR SIDE ARE BLACK IRON RAILING.

PROPOSED ELEVATION



STATUTORY SEAL



CIBOTTI ENGINEERING
 10888 PEERLESS CT
 OAKLAND, CA 94603
 P: (916) 750-8506
 E-MAIL: INFO@CIBOTTI.COM

Residential Addition & Remodel
 139 Florida Ave.
 San Bruno, CA 94066

DATE: 01/12/2024
 DRAWN BY: EL
 CHECKED BY: EL
 JOB NO: 0112

A.4

SHEET 5 OF 7



City of San Bruno
 Building Safety Division
 567 El Camino Real
 San Bruno, CA 94066

Permit Center: (650) 616-7076
 Inspection Request: (650) 616-7074
 Fax: (650) 873-6749

2013 CALIFORNIA GREEN BUILDING STANDARD CODE (CGC) RESIDENTIAL CHECKLIST

New residential buildings shall be designed to include the green building mandatory measures specified in this checklist. This checklist shall also be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to the specific area of the addition or alteration.

BUILDING PERMIT NO.: _____
 ADDRESS: _____

**MANDATORY
 MEASURES
 SPECIFIED**
 (Please check
 boxes below)

Feature or Measure	Yes
SITE DEVELOPMENT	
A plan has been developed and will be implemented to manage storm water drainage during construction per CGC 4.106.2 & 4.106.3	<input type="checkbox"/>
WATER EFFICIENCY AND CONSERVATION	
Plumbing fixtures (Water closets and urinals) shall comply with the following:	
The effective flush volume of all water closets shall not exceed 1.28 gal/flush (CGC 403.1.1)	<input type="checkbox"/>
The effective flush volume of urinals shall not exceed 0.5 gal/flush (CGC 403.1.2)	<input type="checkbox"/>
Fittings (faucets and showerheads) have all required standards listed on plans and are in accordance to CGC 4.303.1.3 and CGC 403.1.4	<input type="checkbox"/>
Automatic irrigation system controller for landscaping provided by the builder and installed at the time of final inspection shall comply with CGC 4.304	<input type="checkbox"/>
ENHANCED DURABILITY AND REDUCED MAINTENANCE	
Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be rodent proofed by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency per CGC 4.406.1	<input type="checkbox"/>
CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING	
A minimum of 65% of the non-hazardous construction and demolition waste generated at the site shall be diverted to an offsite recycle, diversion, or salvage facility per CGC 4.408	<input type="checkbox"/>
BUILDING MAINTENANCE AND OPERATION	
An operation and maintenance manual will be provided to the building occupant or owner per CGC 4.410.1	<input type="checkbox"/>
ENVIRONMENTAL QUALITY	
Any gas fireplaces shall be a direct-vent sealed-combustible type.	<input type="checkbox"/>
Any wood stove or pellet stove shall comply with US EPA Phase II emission limits per CGC 4.503.1	<input type="checkbox"/>
POLLUTANT CONTROL	
At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution components openings shall be covered with tape, plastic, sheet metals, or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris, which may enter the system per CGC 4.504.1.	<input type="checkbox"/>
Adhesive, sealants and caulks shall meet the VOC or other toxic compound limits per CGC 4.504.2.1.	<input type="checkbox"/>
Paints and coatings shall comply with VOC limits per CGC 4.504.2.2.	<input type="checkbox"/>
Aerosol paints and coatings shall meet the Product-weighted MIR limits for ROC and other requirements per CGC 4.504.2.3.	<input type="checkbox"/>
Documentation will be provided, at the request of the Building Division, to verify compliance with VOC finish materials per CGC 4.504.2.4.	<input type="checkbox"/>
Carpet system installed in the building interior shall meet the testing and product requirement per CGC 4.504.3.	<input type="checkbox"/>
Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the requirements per CGC 4.504.4.	<input type="checkbox"/>
Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior and exterior of the building shall comply with the low formaldehyde emission standards per CGC 4.504.5.	<input type="checkbox"/>

Feature or Measure	Yes
INTERIOR MOISTURE CONTROL	
A capillary break shall be installed if a slab on grade foundation system is used. The use of a 4" thick base of ½" or larger clean aggregate under a 6 mil vapor retarder with joint lapped not less than 6" will be provided per CGC 4.505.2 and CRC R506.2.3.	<input type="checkbox"/>
Building materials with visible signs of water damage shall not be install. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be checked prior to finish material being applied per CGC 4.505.3.	<input type="checkbox"/>
INDOOR AIR QUALITY AND EXHAUST	
Exhaust fans, which are ENERGY STAR compliant and be ducted to terminate outside the building, shall be provided in every bathroom per CGC 4.506.1.	<input type="checkbox"/>
ENVIRONMENTAL COMFORT	
Heating and air-conditioning system shall be sized, designed and have their equipment selected using the following methods: 1. Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2004 or equivalent; 2. Duct systems are sized according to ANSI/ACCA 1, Manual D-2009 or equivalent; 3. Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2004 or equivalent.	<input type="checkbox"/>
INSTALLER AND SPECIAL INSPECTOR QUALIFICATION	
HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognize training or certification program per CGC 702.1.	<input type="checkbox"/>
VERIFICATION	
Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the building department which will show substantial conformance.	<input type="checkbox"/>

Responsible Designer's Declaration Statement	Contractor Declaration Statement
I hereby certify that this project has been designed to meet the requirements of the 2013 California Green Building Standards Code.	I hereby certify, as the builder or installer under the permit listed herein, that this project will be constructed to meet the requirements of the California Green Building Standards Code.
Name:	Name:
Signature:	Signature:
Date:	Date:
Company:	License:
Address:	Address:
City: State: Zip:	City: State: Zip: