

"The City With a Heart"



Mary Lou Johnson, Chair
Kevin Chase, Vice Chair
Rick Biasotti
Marie Kayal
Sujendra Mishra
Perry Petersen
Joe Sammut

AGENDA PLANNING COMMISSION MEETING December 15, 2015 7:00 p.m.

Meeting location: Senior Center, 1555 Crystal Springs Road, San Bruno

Planning Commission meetings are conducted in accordance with Roberts Rules of Order Newly Revised. You may address any agenda item by approaching the microphone until recognized by the Planning Commission Chair. All regular Planning Commission meetings are recorded and televised on CATV Channel 1 and replayed the following Thursday, at 2:00 pm. You may listen to recordings in the Community Development Department. Complete packets are available online at www.sanbruno.ca.gov and at the library. In compliance with the Americans with Disabilities Act, individuals requiring reasonable accommodation for this meeting should notify us 48 hours prior to meeting. Notices, agendas, and records for or otherwise distributed to the public at a meeting of the Planning Commission will be made available in appropriate alternative formats upon request by any person with a disability. Please make all requests to accommodate your disability to the Community Development Department 650-616-7074.

ROLL CALL

PLEDGE OF ALLEGIANCE

- 1. APPROVAL OF MINUTES: November 3, 2015**
- 2. COMMUNICATIONS**
- 3. PUBLIC COMMENT ON ITEMS NOT ON AGENDA** Individuals allowed three minutes, groups in attendance, five minutes. If you are unable to remain at the meeting, ask the Recording Secretary to request that the Planning Commission consider your comments earlier. It is the Planning Commission's policy to refer matters raised in the forum to staff for investigation and/or action where appropriate. The Brown Act prohibits the Planning Commission from discussing or acting upon any matter not agendized pursuant to State Law.
- 4. ANNOUNCEMENT OF CONFLICT OF INTEREST**
- 5. CONDUCT OF BUSINESS -- Planning Commission Staff Report Discussion**
- 6. PUBLIC HEARINGS:**
 - a. 151 Portola Way (APN: 020-351-120)**
Zoning: R-1: Single-Family Residential
Recommended Environmental Determination: Categorical Exemption
Request for a Use Permit to allow the construction of a one story vertical addition and a one story rear horizontal addition that would in total add 997 square feet of floor area to the existing dwelling thereby increasing its floor area by more than 50% (59%), per Section 12.200.030.B.1 of the San Bruno Municipal Code. Randall and Bridgett Weaver (Applicants and Owners) **UP-15-020**.

b. 1801 Cedarwood Drive (APN: 020-021-370)

Zoning: R-1: Single-Family Residential

Recommended Environmental Determination: Categorical Exemption

Request for a Use Permit to allow the construction of a 510 square foot addition which would increase the gross floor area of the existing home above the maximum permitted floor area ratio (.519) for the district and only provide two (2) parking spaces where three (3) are required, per Sections 12.200.030.B.2 and 12.200.080.A.3 of the San Bruno Municipal Code. David Hirzel (Applicant) Jesus and Maria Ontiveros (Owners) **UP-15-021**.

c. 398 El Camino Real (APN 020-364-070)

Zoning: C – General Commercial

Recommended Environmental Determination: Categorical Exemption

Request for a Temporary Use Permit to allow an off-site construction staging area within a portion of the San Bruno Cable parking lot located on the east side of El Camino Real just south of Taylor Avenue per Section 12.84.030 of the San Bruno Municipal Code. A portion of the San Bruno Cable parking lot will serve as a construction staging area for the construction of the mixed-use development located at 406-418 San Mateo Avenue. Johnstone Moyer, Inc. (Applicant), City of San Bruno (Owner) **TUP-15-008**.

The applicant has withdrawn the Temporary Use Permit Application for this location.

7. DISCUSSION

A. CITY STAFF DISCUSSION

- Select the January 14, 2016 Architectural Review Committee members

B. PLANNING COMMISSION DISCUSSION

8. ADJOURNMENT

The next regular Planning Commission Meeting will be held on January 19, 2016 at 7:00 p.m. at the Senior Center, 1555 Crystal Springs Road, San Bruno.



INTEROFFICE MEMORANDUM

CITY OF SAN BRUNO
COMMUNITY DEVELOPMENT DEPARTMENT

DATE: December 15, 2015
TO: Planning Commission
FROM: Michael Smith, Senior Planner
SUBJECT: Planning Commission Staff Report Formatting

Commissioners,

On 11/9, staff met with Commissioners Biasotti and Petersen to discuss the reformatting of the Planning Commission staff reports. The report format was then updated pursuant to the recommendations of the Commissioners Biasotti and Petersen and is now being forwarded to the full Commission for review and comment. Please review the attached new report format for discussion at the 12/15 Commission hearing.

Staff's goal in reformatting the report is to reduce redundancy and provide more pertinent information on the first page of the report. We anticipate to begin using the new report format for the January 2016 Planning Commission hearing.

Below is a list of notable edits based upon staff's conversation with Commissioners Biasotti and Petersen. Please note that this report sample does not include exhibits for reduced or full-size plans because no changes are being proposed for the exhibits which would change based upon the type of project being presented.

- On page 1, Staff Contact has been replaced by Prepared by.
- On page 1, the phrase "roll call vote" has been added to the end of the staff recommendation.
- On page 2, reviewing agencies remain after Public Comment.
- On page 2, the names of the Commissioners who attended that ARC meeting have been added.
- On page 3, footnotes have been added below the Project Details Summary table to explain adjusted lot area and the method for FAR calculation.
- On page 3, the note below the Square Footage Breakdown table has been removed.
- On page 3, the Project Analysis section has been renamed Staff's Project Analysis.

Attachment:
Sample Staff Report



567 El Camino Real
San Bruno, CA 94066
Voice: (650) 616-7074
Fax: (650) 873-6749
www.sanbruno.ca.gov

STAFF

David Woltering, AICP, *Community Development Director*
Mark Sullivan, AICP, *Long Range Planning Manager*
Michael Smith, *Senior Planner*
Matt Neuebaumer, *Associate Planner*
Paula Bradley, MCP, AICP, *Contract Associate Planner*
Matt Jones, *Contract Assistant Planner*
Marc Zafferano, *City Attorney*

PLANNING COMMISSION

Mary Lou Johnson, *Chair*
Kevin Chase, *Vice Chair*
Rick Biasotti
Marie Kayal
Sujendra Mishra
Perry Petersen
Joe Sammut

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. 6.B.
October 20, 2015**

Project Address: 4333 First Avenue
Assessor's Parcel No: 020-196-140
Application No.: UP-15-008
Zoning District: R-1 (Single-Family Residential)
General Plan Classification: Low Density Residential
Prepared by: Matt Neuebaumer, (650) 616-7042

REQUEST

Request for a Use Permit to allow the construction of a 527 square foot addition which increases the gross floor area of the existing home by greater than 50% (54%), per Section 12.200.030.B.1 of the San Bruno Municipal Code. Luis A. Robles (Applicant) & Jenelle and Glen Wilson (Owner)

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit 15-008 based on Findings 1-6 and Conditions of Approval 1-28. (roll call vote)

PROJECT DESCRIPTION

The applicant is proposing to construct a 527 square foot ground floor addition to the rear of an existing one-story single-family home, which will increase the gross floor area of the existing home by greater than 50% (54%). The first floor expansion would include two bedrooms, one bathroom, and a family room. The proposed addition would utilize exterior materials that match the existing home, including horizontal siding and an asphalt shingle roof. If approved and constructed, this would be a four bedroom, two bathroom home, with a total floor area of 1,512 square feet.

ENVIRONMENTAL REVIEW

This project is Categorical Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301.e: Existing Facilities.

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on October 9, 2015.
2. Advertisement published in the San Mateo Daily Journal, Saturday, October 10, 2015.

PUBLIC COMMENT

Staff sent the required legal notice on October 9, 2015. No comments have been received as of the completion of this staff report.

REVIEWING AGENCIES

Community Development Department
Public Services Department
Fire Department

EXISTING CONDITIONS

The subject property is located on First Avenue between Pine Street and Angus Avenue East. This is a rectangular shaped lot with a total size of 3,656 square feet. The property is currently developed with a one-story single-family dwelling consisting of 785 square feet of living space which includes two bedrooms, one bathroom, a living room, dining room, kitchen, plus an attached 200 square foot one-car garage. The home was constructed in 1940 and is located in the Belle Air Park subdivision. Immediately adjacent to the subject property are single-family dwellings.

ADDITIONAL INFORMATION

- **Accessory Structures:** A 100 square foot detached accessory structure is located in the rear yard.
- **Code Enforcement:** There are no active Code Enforcement cases.
- **Easements:** There are no easements on the subject property.
- **Heritage Trees:** There are no heritage trees located on-site.
- **Previous additions or alterations:** There have been no previous additions or alterations to the subject property.

SURROUNDING LAND USES

North: Pine Street – R-1 (Single Family Residential)
South: Angus Avenue East – R-1 (Single Family Residential)
East: Second Avenue – R-1 (Single Family Residential)
West: Huntington Avenue – C-B-D (Central Business District) & R-2 (Low Density Residential)

ARCHITECTURAL REVIEW COMMITTEE

The Architectural Review Committee (Commissioners Biasotti, Sammut, and Petersen) reviewed this project at its August 13, 2015 meeting. The Architectural Review Committee forwarded the project to the Planning Commission with the following recommendations which have been incorporated into the plans before you:

- The front property line begins 2'-0" from the back edge of the sidewalk. Update the site plan accordingly.
- Include the location of the detached accessory structure on the site plan.
- Include a basic landscaping plan that identifies all existing and proposed landscaping.
- Indicate the existing and proposed window trim.
- Ensure each elevation is accurately labeled by its orientation.
- Include the front (west) elevation.
- Include a written description of the proposed green building techniques that will be

implemented during the construction stage of the project.

PROJECT DETAILS SUMMARY

SITE CONDITIONS		ZONING REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS
Land Use		R-1	R-1	Same
Lot Area		3,656 s.f. 4,094 s.f. adjusted	3,656 s.f. 4,094 s.f. adjusted	Same
Lot Coverage		1,845 s.f. (44%)	1,107 s.f. (27%)	1,634 s.f. (40%)
Gross Floor Area		2,251 s.f.*	985 s.f.	1,512 s.f.
Floor Area Ratio		.55	.23	.37
Building Setbacks	Front	15'-0"	9'-0" (Existing Home)	Same
	Rear	10'-0"	37'-0" (Existing Home)	15'-0" (To Addition)
	R Side	4'-10 ½ "	5'-10" (Existing Home)	5'-10" (To Addition)
	L Side	4'-10 ½ "	5'-5" (Existing Home)	16'-0" (To Addition)
Building Height		28'-0"	14'-0"	Same
Covered Parking		2 space	1 space	Same

Notes:

*See Chart 1 in Section 12.96.060 of the SBMC for the floor area ratio adjustment factor for lot size.

**Max. FAR = Lot size X adjustment factor X ratio

Square Footage Breakdown:

	Ground floor	Garage	Total
Existing	785	200	985
Proposed	527	-	527
Total	1,312	200	1,512

STAFF'S PROJECT ANALYSIS

Staff finds that the proposed 527 square foot ground floor addition to the rear of the existing dwelling to be consistent with the design and scale of the surrounding neighborhood and conforms with the Residential Design Guidelines as further described in the required Findings.

As proposed, the proposed family room contains a door, landing, and stairwell along the northern elevation. This creates a 1'-3" separation between the proposed stairs and the existing garage, which would impact the egress requirement for the existing bedroom. Therefore, staff has included a condition of approval stating that the applicant shall eliminate the door, landing, and stairwell located on the north side of the proposed family room.

FINDINGS

*Pursuant to the City's Municipal Code, the Commission shall grant the Use Permit if it makes the following findings. Required findings are in **bold** followed by staff's analysis of the merits of the project*

and how the findings can be made.

1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)

With the condition that the applicant obtain a building permit prior to construction, the home will be constructed according to the California Building Code (CBC) and, therefore, will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)

The applicant is proposing a ground floor addition to an existing one-story single-family dwelling. The applicant is proposing to utilize exterior materials of horizontal siding that would match the existing dwelling and the surrounding neighborhood. The proposal will benefit the City and the surrounding neighborhood by improving the property in a well-designed manner. Therefore, staff finds that the project will not be detrimental to improvement in the neighborhood or to the general welfare of the City.

Regarding parking, the current one-car garage is adequate as the proposed living area of 1,312 square feet is less than the 1,825 square foot threshold for requiring a second covered parking space.

3. That the proposed development is consistent with the San Bruno General Plan. (SBMC 12.108.050.B.3)

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the General Plan designation.

General Plan Policy LUD-3 states, “protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale.” The proposal will be complementary to other single-family homes in the area. The design of the project reinforces the residential character of the neighborhood.

4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (12.108.040.D).

The proposal includes a ground floor addition to an existing one-story single-family dwelling. The overall design and scale of the home is consistent with the neighborhood, which consists of single-family dwellings. The proposed expansion also meets the floor area, lot coverage, setback, and height requirements of the zoning district. Specifically, the proposed floor area is 1,512 square feet, which corresponds to a .37 FAR, where .55 is the threshold. The lot coverage calculation amounts to 1,634 square feet (40%), which is less than the 44% lot coverage threshold. The side and rear setbacks for the proposed addition are all in compliance with the setback requirements. The height of the home would be 14'-0", which is less than the 28'-0" height limit of the R-1 zone. Therefore, the structure should not unreasonably restrict or interfere with light and air access to the adjacent properties.

- 5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G).**

The addition would utilize horizontal siding and asphalt shingle roofing materials, which are consistent with the existing home and the immediate neighborhood. The proposed expansion also meets the floor area, lot coverage, setback, and height requirements of the zoning district. Therefore, staff finds that the general appearance of the proposed addition will be in keeping with the character of the neighborhood and will not be detrimental to the City.

- 6. That any proposed single-family or two-family dwelling conform to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.I).**

Staff finds that the proposed addition conforms to the basic design principles of the Residential Design Guidelines. The addition is a ground floor addition that continues the simple building form of the existing structure and would also incorporate matching exterior materials of horizontal board siding and asphalt shingle roofing. Finally, there are no proposed changes to the front elevation therefore, the existing architectural character of the neighborhood will not be affected.

CONDITIONS OF APPROVAL

Community Development Department

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 15-008 shall not be valid for any purpose. Use Permit 15-008 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for Use Permit shall be built according to plans approved by the Planning Commission on October 20, 2015 labeled Exhibit C except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The home shall be used only as a single-family residential dwelling unit. No portion of any residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as

a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.

7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the California Building Code. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance.
8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning, Building, and Public Services staff to ensure compliance with the conditions of approval during the construction process.
9. Prior to Final Inspection, the site shall be landscaped according to the plans approved by the Planning Commission on October 20, 2015 and any site landscaping damaged during construction shall be replanted to the satisfaction of the Community Development Director.
10. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.
11. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.
12. The applicant shall eliminate the door, landing, and stairwell located on the north side of the proposed family room.
13. Comply with the 2013 California Codes, including the California Residential Code.

Public Services Department

14. The front property line is located 2.0 feet behind the sidewalk at 4333 First Avenue. No fences, retaining walls, or other permanent structure shall be placed or constructed within 2.0 feet from the back of sidewalk along First Avenue. S.B.M.C. 8.08.010.
15. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all existing and proposed grading and drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
16. Show on the plans flow line diagrams for cold water lines, hot water lines, gas lines, and sanitary sewer lines to include all existing and proposed systems in accordance with the applicable California Building Code 2013.
17. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02, dated Aug 2011. Older clean outs not meeting current City standards shall be replaced.

18. Planting of one 36-inch box size approved tree or payment to the in-lieu replacement tree fund per most current fee schedule is required. Tree shall be located on 4333 First Avenue per SBMC 8.24.060. At the current rate, the impact payment required is \$540. A separate tree-planting permit is required from Parks Division for any new street tree.
19. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property shall be removed and replaced. Remove and replace all damaged and/or broken sidewalk at front of property for all locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010.
20. Prior to final inspection, paint the address number on face of the curb near the driveway approach with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted.
21. Obtain an Encroachment Permit from Public Services Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit.
22. An erosion control plan and storm water pollution prevention plan is required. The applicant shall show existing storm drain inlets and other storm water collection locations protected by silt screens or silt fence. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
23. Show on plans how storm water shall be collected from downspouts and other on-site drainage and drained into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary.
24. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for review.
25. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing ¾-inch water meter is sufficient to serve proposed water demand. If existing meter is undersized a new meter is required. Applicant shall pay water and sewer capacity charges based on the size of the water meter installed along with materials and installation of an upgraded water meter. S.B.M.C. 10.14.020/110. Indicate on the plans the location of the existing water meter and the available water pressure at the property.

Fire Department

26. Address numbers to be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
27. Provide hard-wired smoke detectors with battery backup as required by building code.
28. Provide spark arrester for chimney if not currently in place.

EXHIBITS

- A:** Site Location
- B:** Photographs
- C:** Site Plan, Floor Plans, and Elevations
- D:** Green Building Statement

Exhibit A: Site Location



**4333 First Avenue
020-196-140
UP-15-008**

Exhibit B: Photographs



Subject Site



Neighboring Properties



567 El Camino Real
San Bruno, CA 94066
Voice: (650) 616-7074
Fax: (650) 873-6749
www.sanbruno.ca.gov

STAFF

David Woltering, AICP, *Community Development Director*
Mark Sullivan, AICP, *Long Range Planning Manager*
Michael Smith, *Senior Planner*
Matt Neuebaumer, *Associate Planner*
Paula Bradley, MCP, AICP, *Contract Associate Planner*
Matt Jones, *Contract Assistant Planner*
Marc Zafferano, *City Attorney*

PLANNING COMMISSION

Mary Lou Johnson, *Chair*
Kevin Chase, *Vice Chair*
Rick Biasotti
Marie Kayal
Sujendra Mishra
Perry Petersen
Joe Sammut

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. 6.A.
December 15, 2015**

PROJECT LOCATION

1. Address: 151 Portola Way
2. Assessor's Parcel No: 020-351-120
3. Zoning District: R-1 (Single Family Residential)
4. General Plan Classification: Low Density Residential

EXHIBITS

- A:** Site Location
- B:** Photographs
- C:** Site Plan, Floor Plans, and Elevations
- D:** Green Building Statement

REQUEST

Request for a Use Permit to allow the construction of a one story vertical addition and a one story rear horizontal addition that would in total add 997 square feet of floor area to the existing dwelling thereby increasing its floor area by more than 50% (59%), per Section 12.200.030.B.1 of the San Bruno Municipal Code. Randall and Bridget Weaver (Applicants and Owners) **UP-15-020**.

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit 15-020 based on Findings 1-6, and subject to Conditions of Approval 1-26.

REVIEWING AGENCIES

Community Development Department
Public Services Department
Fire Department

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on December 4, 2015.
2. Advertisement published in the San Mateo Daily Journal, Saturday, December 5, 2015.

ENVIRONMENTAL ASSESSMENT

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301.e: Existing Facilities.

EXISTING CONDITIONS

The subject property is located on Portola Way at De Soto Way in the El Crystal subdivision. The subject lot measures 5,074 square feet with a slope of less than 10%. The property is currently developed with a one-story, single-family dwelling that was constructed in 1943 and has three bedrooms, one full bathroom, within 971 square-feet of gross floor area with a 468 square-foot, detached, two car garage. Immediately adjacent to the subject property are single-family dwellings.

ADDITIONAL INFORMATION

- **Accessory Structures:** There are no accessory structures located on the property.
- **Code Enforcement:** There are no active Code Enforcement cases.
- **Easements:** There is a 5' Public Utility Easement located at the south and west boundaries of the property.
- **Heritage Trees:** There are no heritage trees located on the property.
- **Previous additions or alterations:** There have been no previous additions or alterations to the subject property.

SURROUNDING LAND USES

North: Portola Way – R-1 (Single Family Residential)
South: Santa Lucia Avenue – R-1 (Single Family Residential)
East: Portola Way – R-1 (Single Family Residential)
West: De Soto Way – R-1 (Single Family Residential)

PROJECT DESCRIPTION

The applicant is proposing to construct a one-story vertical addition and a one-story horizontal addition at the rear of the building. The horizontal addition would extend the depth of the building by 12', measure 23' in width, and would add 276 square-feet of floor area at the ground floor, housing an enlarged kitchen. The vertical addition would increase the height of the building by seven-feet, add 721 square feet of floor area to the existing building and house two bedrooms and two bathrooms. In total, the project would add 997 square feet of floor area to the building. Proposed roofing would be asphalt composition shingles that match the existing roofing materials. The addition itself would be clad in wood siding that matches the existing exterior finishes. All windows would be replaced with vinyl windows and have wood trim. If approved and constructed, the proposed building would have four bedrooms and three bathrooms within 1,968 square feet of living area. No change is proposed for the 468 square foot detached garage on the property.

Project details are shown in the following table:

SITE CONDITIONS		ZONING REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS
Land Use		R-1	R-1	Same
Lot Area		5,074 s.f. 5,074 s.f. adjusted	5,074 s.f. 5,074 s.f. adjusted	Same
Lot Coverage		2,233 s.f. (44%)	1,439 s.f. (28%)	1,715 s.f. (34%)
Gross Floor Area		2,791 s.f.	1,439 s.f.	2,436 s.f.
Floor Area Ratio		.55	.28	.48
Building Setbacks	Front	15'-0"	13'	Same
	Rear	10'-0"	44'-0"	32'-0"
	R Side	5'-0"	4'-0"	Same
	L Side	5'-0"	17'-4"	Same
Building Height		28'-0"	20'-0" (above sidewalk)	27'-0" (above sidewalk)
Covered Parking		2 spaces	2 spaces	Same

Notes:

- Use Permit required for greater than 50% expansion.

Square Footage Breakdown:

	Ground floor	Second Floor	Garage	Total
Existing	971	-	468	1,439
Proposed	276	721	-	997
Total	1,247	721	468	2,436

Notes:

- 1,968 s.f. of living area proposed with a 468 s.f. of garage space

ARCHITECTURAL REVIEW COMMITTEE

The Architectural Review Committee reviewed this project at its November 12, 2015 meeting. The project was forwarded to the Planning Commission with a recommendation to add an architectural feature to the side elevations to “break up” the two-story façades. This recommendation has been incorporated into the proposed plans.

PUBLIC COMMENT

Staff sent a courtesy notice to neighbors on December 4, 2015. No comments have been received as of the completion of this staff report.

ANALYSIS AND RECOMMENDATION

Analysis:

The applicant is proposing to add 997 square feet of floor area to the building through the construction of

a one story vertical addition and a one story horizontal addition at the rear of the building. A Use Permit is required because the gross floor area of the existing home will increase by greater than 50%. The proposal would otherwise meet the lot coverage, setback, and height requirements of the zoning district. Specifically, the proposed floor area is 2,436 square feet, which corresponds to a .48 FAR where a .55 FAR is permitted. The height would increase to 27'-0", where 28'-0" is allowed. The proposed addition complies with the rear setback requirement. The existing west side setback is 4'-0" where the District requires a 5'-0" side setback. The vertical addition would maintain the same one foot projection into the side setback as permitted by the Code. The rear addition would respect the side setback requirement. The detached garage projects into the required 5'-0" side setback on the east side of the property which would not change.

Staff finds that the design of the addition complies with the Code and Residential Design Guidelines. Although the addition includes new transparent windows at the second floor, neither of the abutting properties have a side yard greater than ten feet. The proposed addition would comply with the Residential Design Guidelines because it will be well integrated with the existing single-family dwelling. The proposed second floor is set back from the floor below on more than 50% of perimeter to reduce the amount of unbroken two-story walls and to reduce the building's scale relative to the adjacent one-story buildings. Overall the building's architecture, form and scale are compatible with the immediate neighborhood. Furthermore, the addition would be finished in materials (wood siding, gabled roof that is clad in asphalt composition shingles) that match the building's existing finish materials to provide visual unity in the design.

The addition would expand the building's main living level into the rear yard, adding 276 square-feet of gross floor area and 12'-0" to the building's depth to create a larger kitchen. In compliance with the Code, the existing accessory detached garage would remain 7'-0" away from the expanded residence.

Regarding parking, the current two-car garage is adequate as the proposed living area of 1,968 square feet is less than the 2,800 square foot threshold for requiring a three covered parking spaces.

Findings:

*Pursuant to the City's Municipal Code, the Commission shall grant the Use Permit if it makes the following findings. Required findings are in **bold** followed by staff's analysis of the merits of the project and how the findings can be made.*

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the home will be constructed according to the California Building Code (CBC) and, therefore, will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

- 2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)**

The applicant is proposing to utilize exterior materials that would match the existing dwelling and the surrounding neighborhood. The proposal will benefit the City and the surrounding neighborhood by

improving the property in a well-designed manner. Therefore, staff finds that the project will not be detrimental to improvement in the neighborhood or to the general welfare of the City.

Regarding parking, the project is required to provide two covered parking spaces as required by the Municipal Code. This requirement is satisfied by the existing detached garage located at the rear of the property.

3. That the proposed development is consistent with the general plan. (SBMC 12.108.040.H)

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the General Plan designation.

General Plan Policy LUD-3 states, “protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale.” The design of the project reinforces the residential character of the neighborhood.

4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (SBMC 12.108.040.D)

The overall design and scale of the home is consistent with the neighborhood, which consists of single-family dwellings. The height of the home would be 27'-0”, which is less than the 28'-0” height limit of the R-1 zone. The proposed expansion also meets the floor area and lot coverage requirements of the zoning district. Therefore, the structure should not unreasonably restrict or interfere with light and air to the adjacent properties.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G)

The addition would utilize horizontal siding and a gabled roof that is clad in asphalt shingle roofing materials, which are consistent with the existing home and the immediate neighborhood. The proposed expansion also meets the floor area, lot coverage, and height requirements of the zoning district. Furthermore, the addition would not impact the privacy of the abutting homes because the adjacent setbacks are less than 10'-0” in depth. Therefore, staff finds that the general appearance of the proposed addition will be in keeping with the character of the neighborhood which is characterized by one- and two-story homes and will not be detrimental to the City.

6. That any proposed single-family or two-family dwelling conforms to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.1)

Staff finds that the proposed addition conforms to the basic design principles of the Residential Design

Guidelines. The Residential Design Guidelines recommend selecting materials and roof forms that are consistent with the existing building and the neighborhood. In this instance, the addition would incorporate materials that match the existing building's exterior finishes, would have a gabled roof form that is integrated into the existing gabled roof, and would have windows on the sides to avoid blank walls. Additionally, the vertical addition would have a smaller footprint than the ground floor which would provide articulation along the perimeter of the building breaking up the building's scale and would include architectural features that "break up" the two-story side walls and add visual interest.

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit 15-020 based on Findings 1-6 and Conditions of Approval 1-26.

CONDITIONS OF APPROVAL

Community Development

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 15-021 shall not be valid for any purpose. Use Permit 15-021 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included on a full size page in the Building Division set of drawings.
3. The request for a Use Permit shall be built according to plans approved by the Planning Commission on December 15, 2015 labeled Exhibit C, except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The residence shall be used only as a single-family residential dwelling unit. No portion of the residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct another dwelling unit without City approval will result in Code Enforcement action by the City.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the California Building Code. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this

condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance.

8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning and Building staff to ensure compliance with the conditions of approval during the construction process.
9. Prior to Final Inspection, the site shall be landscaped according to the plans approved by the Planning Commission on December 15, 2015 and any site landscaping damaged during construction shall be replanted to the satisfaction of the Community Development Director.
10. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.
11. The developer shall indemnify, defend, and hold harmless the city, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the city's consideration and/or approval of the developer's application for development.

Public Services Department

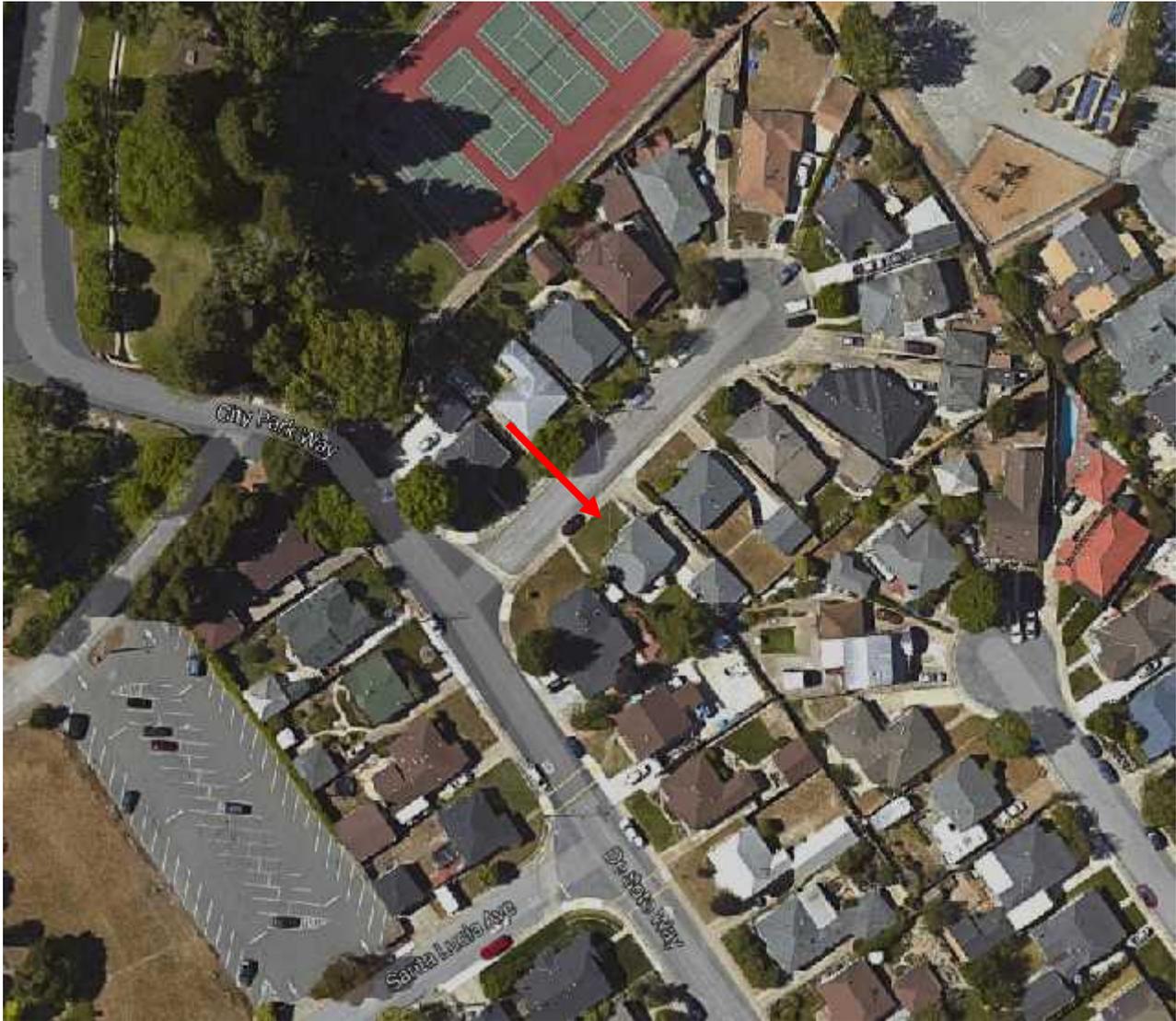
12. The front property line is located 5.5 feet behind the sidewalk at 151 Portola Way. No fences, retaining walls, or other permanent structure shall be placed or constructed within 5.5 feet from the back of sidewalk along 151 Portola Way. S.B.M.C. 8.08.010.
13. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all existing and proposed grading and drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
14. Show on the plans flow line diagrams for cold water lines, hot water lines, gas lines, and sanitary sewer lines to include all existing and proposed systems in accordance with the applicable California Building Code 2013.
15. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02, dated June 2015. Older clean outs not meeting current City standards shall be replaced.
16. The applicant shall plant one 36-inch box size approved tree or pay an in-lieu fee to the replacement tree fund per the most current fee schedule. Tree shall be located on 1801 Cedarwood Court per SBMC 8.24.060. At the current rate, the impact payment required is \$540. A separate tree-planting permit is required from Parks Division for any new street tree.
17. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property shall be removed and replaced. Remove and replace all damaged and/or broken sidewalk at front of property for all locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010.

18. Prior to final inspection, paint the address number on face of the curb near the driveway approach with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted.
19. Obtain an Encroachment Permit from Public Works Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit.
20. An erosion control plan and storm water pollution prevention plan is required. The applicant shall show existing storm drain inlets and other storm water collection locations protected by silt screens or silt fence. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
21. Show on plans how storm water shall be collected from downspouts and other on-site drainage and drained into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary.
22. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for review.
23. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing ¾-inch water meter is sufficient to serve proposed water demand. If existing meter is undersized a new meter is required. Applicant shall pay water and sewer capacity charges based on the size of the water meter installed along with materials and installation of an upgraded water meter. S.B.M.C. 10.14.020/110. Indicate on the plans the location of the existing water meter and the available water pressure at the property.

Fire Department

24. Address numbers shall be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
25. Provide hard-wired smoke detectors with battery backup as required by building code.
26. Provide spark arrester for chimney if not currently in place.

Date of Preparation: December 11, 2015
Prepared by: Michael Smith, Senior Planner



151 Portola Way
020-351-120
UP-15-020

Exhibit A: Site Location

Subject Site



Neighboring Properties



Exhibit B: Photographs

CHECKLIST



Checklist

151 PORTOLA WAY

These checklists are offered at the Planning and Permitting Departments of the cities, towns and county in San Mateo County to encourage the use of sustainable building practices in new construction and remodels or renovations. More information on individual checklist items is found in this guide.

For assistance in using the checklist, please consult with your jurisdiction's Planning or Permitting Department or call the RecycleWorks hotline at 1-888-442-2666.

✓	No.	Item	Applicable Building Types	
COMMUNITY PLANNING				
Goal: Create a more sustainable community				
	1	Build mixed-use developments and provide public amenities such as open space	c	m
	2	Cluster development to minimize paving and utilities, and to preserve open space	c	m
	3	Reuse a brownfield or previously occupied site	c	m
	4	Design for easy pedestrian, bicycle, and transit access	c	t m
SITE & LANDSCAPE				
Goal: Respect your site				
✓	5	Design and landscape to create comfortable micro-climates and reduce heat island effects	c	m s
✓	6	Optimize building orientation for heat gain, shading, daylighting, and natural ventilation	c	m s
✓	7	Reduce building footprint - smaller is better	c	m s
✓	8	Limit site impacts, balance cut and fill, preserve existing vegetation and protect soil during construction	c	m s
	9	Use native plants that are drought-resistant, create habitat for indigenous species, and do not require pesticides for maintenance	c	m s
	10	Use recycled rubble for backfill drain rock	c	m s
Goal: Save water and reduce local water impacts				
✓	11	Maximize onsite stormwater management through landscaping and permeable pavement	c	m s
	12	Use rainwater harvesting	c	m s
✓	13	Use water-conserving landscape technologies such as drip irrigation, moisture sensors, and watering zones	c	m s
WASTE REDUCTION & MANAGEMENT				
Goal: Reduce, reuse, recycle				
✓	14	Reuse a building (renovate) instead of tearing down and rebuilding	c	t m s
	15	Deconstruct old buildings for materials reuse (salvage)	c	t m s
✓	16	Recycle construction & demolition waste	c	t m s
✓	17	Design for durability and eventual reuse	c	t m s
✓	18	Provide adequate space for storing and handling recyclables	c	t m s
CONCRETE				
Goal: Make concrete with sustainable materials				
✓	19	Use flyash in concrete	c	t m s
	20	Use recycled aggregate in non-structural concrete	c	t m s
✓	21	Use prefabricated forms or save and reuse wood form boards	c	t m s
WOOD FRAMING				
Goal: Design to save wood and labor				
✓	22	Use spacings, sizes, and modular dimensions that minimize lumber use and optimize performance	c	t m s
✓	23	Use engineered lumber or metal stud framing to replace solid-sawn lumber	c	t m s
Goal: Support sustainable forests				
	24	Use sustainably harvested lumber (FSC certified) for wood framing	c	t m s
	25	Use reclaimed or salvaged lumber	c	t m s
EXTERIOR TREATMENTS, SIDING & ROOFING				
Goal: Make a sustainable roof				
✓	26	Use durable roofing materials	c	m s
	27	Use a cool roof	c	m
	28	Use a green or living roof	c	m s
Goal: Support healthy environments and sustainable forests				
✓	29	Use sustainable siding materials	c	m s
	30	Use sustainable decking materials	c	m s

KEY

- c** Commercial/Industrial
- t** Tenant Improvement
- m** Multi-family housing
- s** Single-family home



checklist

CHECKLIST

These checklists are offered at the Planning and Permitting Departments of the cities, towns and county in San Mateo County to encourage the use of sustainable building practices in new construction and remodels or renovations. More information on individual checklist items is found in this guide.

For assistance in using the checklist, please consult with your jurisdiction's Planning or Permitting Department or call the RecycleWorks hotline at 1-888-442-2666.

	✓	No.	Item	Applicable Building Types			
WINDOWS & DOORS	Goal: Save energy through passive design						
	✓	31	Provide shading on east, west and south windows with overhangs, awnings, or deciduous trees	c	m	s	
	✓	32	Plan windows and skylights, light shelves, and window treatments to provide daylight that improves indoor environments	c	t	m s	
	✓	33	Choose window sizes, frame materials, and glass coatings to optimize energy performance	c	m	s	
	✓	34	Stop air leakage at doors and windows	c	m	s	
PLUMBING	Goal: Save water and energy in plumbing systems						
	✓	35	Use water-conserving plumbing fixtures	c	t	m s	
	✓	36	Use water-saving appliances and equipment	c	t	m s	
	✓	37	Insulate hot and cold water pipes	c	t	m s	
		38	Use heat recovery equipment, tankless water heaters and/or on-demand hot water circulation pumps	c	t	m s	
	39	Pre-plumb for future graywater use for toilet flushing and landscape irrigation	c	m	s		
	Goal: Reduce environmental impacts from materials production						
		40	Use sustainable materials for pipes	c	t	m s	
ELECTRICAL	Goal: Save energy in lighting						
	✓	41	Design lighting levels for actual use, and use task lighting to reduce general lighting levels	c	t	m s	
	✓	42	Use energy-efficient lamps and lighting fixtures	c	t	m s	
	✓	43	Use lighting controls that save energy such as occupancy sensors	c	t	m s	
	Goal: Save energy in equipment use						
	✓	44	Use ENERGY STAR® appliances	c	t	m s	
	✓	45	Use a building energy management system	c	t	m	
HEATING & COOLING	Goal: Save energy through passive design						
		46	Use passive solar design, thermal mass, and insulation to reduce space heating needs	c	m	s	
		47	Replace air conditioning with natural ventilation and passive cooling	c	m	s	
		✓	48	Use ceiling fans for comfort cooling, and use a whole-building fan for night-time cooling	c	t	m s
		49	Upgrade wall, floor, and ceiling insulation to exceed minimum State requirements	c	m	s	
	Goal: Save energy in equipment use						
		✓	50	Use high-efficiency equipment including furnaces, boilers, fans, and pumps	c	m	s
			51	Use heat recovery equipment	c	m	s
			52	Use geothermal systems, cogeneration, or other alternatives for heating and cooling	c	m	
			53	Place ductwork within conditioned space, seal joints properly, and clean before occupancy	c	t	m s
	✓	54	Zone mechanical systems for more efficient heating and cooling	c	t		
		55	Use radiant and hydronic systems for increased efficiency, health, and comfort	c	t	m s	
		56	Use equipment without ozone-depleting refrigerants		t	m	
Goal: Create healthy indoor environments							
		57	Use recycled-content, formaldehyde-free fiberglass insulation, cellulose insulation, or other green insulation products	c	t	m s	
		58	Separate ventilation for indoor pollutant sources and provide advanced filtration to improve indoor air quality	c	t	m s	
		59	Use clean and efficient alternatives to wood-burning fireplaces		m	s	

KEY

- c** Commercial/Industrial
- t** Tenant Improvement
- m** Multi-family housing
- s** Single-family home

CHECKLIST



checklist

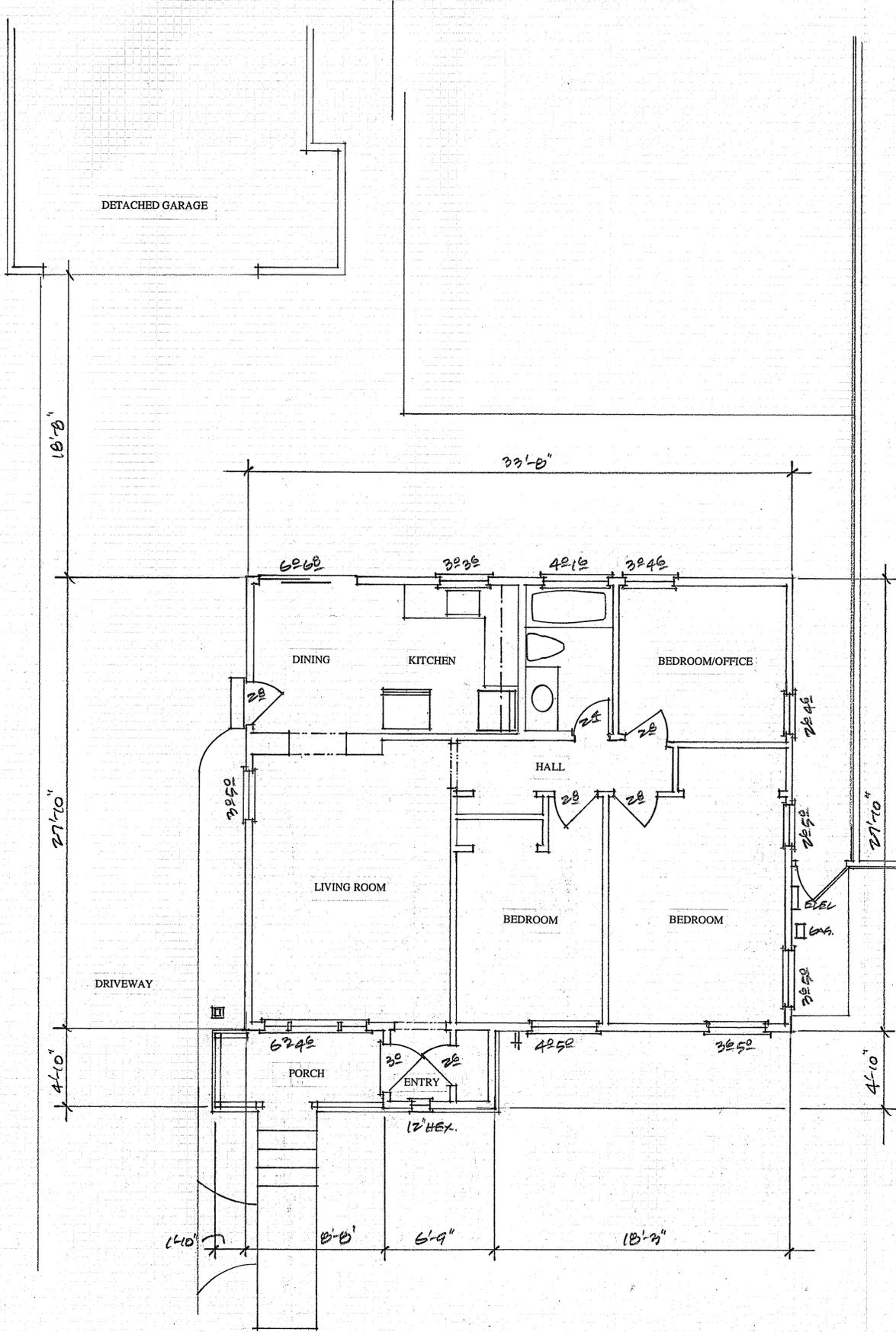
These checklists are offered at the Planning and Permitting Departments of the cities, towns and county in San Mateo County to encourage the use of sustainable building practices in new construction and remodels or renovations. More information on individual checklist items is found in this guide.

For assistance in using the checklist, please consult with your jurisdiction's Planning or Permitting Department or call the RecycleWorks hotline at 1-888-442-2666.

	✓	No.	Item	Applicable Building Types		
RENEWABLE POWER & SOLAR ENERGY	Goal: Replace fossil fuel use with alternatives					
		60	Generate clean electricity onsite using solar photovoltaics	c	m	s
		61	Generate clean electricity onsite using wind turbines	c	m	s
		62	Use solar hot-water systems for domestic use and swimming pools	c	m	s
		63	Use solar hot-water systems for space heating	c	m	s
		64	Pre-plumb for a solar hot-water system	c	m	s
INTERIOR MATERIALS	Goal: Create healthy indoor environments					
	✓	65	Use low- or no-VOC, formaldehyde-free paints, stains, and adhesives	c	t	m s
	✓	66	Use low- or no-VOC carpets, furniture, particleboard, and cabinetry	c	t	m s
		67	Use exposed concrete as a finished floor	c	t	m s
		68	Use natural materials such as wool and sisal for carpets and wallcoverings	c	t	m s
		69	Use sustainable materials for flooring, trim, and interior surfaces	c	t	m s
	Goal: Support the market for recycled materials					
		70	Use recycled-content floor tile, carpets and pads, cabinets, and countertops	c	t	m s
	Goal: Support sustainable forests					
✓	71	Use reclaimed / salvaged, sustainably harvested (FSC certified), or engineered wood for flooring and trim, or use wood alternatives such as bamboo and cork	c	t	m s	
OTHER GREEN ALTERNATIVES	Goal: Use creativity and innovation to build more sustainable environments					
		72	Use insulated concrete forms	c	m	s
		73	Use structural insulated panels to replace wood-framed walls	c	t	m s
	✓	74	Use natural building materials and techniques	c	m	s
		75	Other sustainable methods or materials used. <i>Please describe:</i>	c	t	m s

KEY

- c** Commercial/ Industrial
- t** Tenant Improvement
- m** Multi-family housing
- s** Single-family home



EXISTING FLOOR PLAN 1/4"=1'-0"

151 Portola Way, San Bruno

Assessor's Parcel No.: 020 - 351 - 120
 Land Use: R-1 Low Density Residential
 Average Slope of Lot: < 10% (8%)

Lot Area: 5,074 s.f.
 Permitted Floor Area (FAR): 2,791 s.f. (.55)
 Maximum Lot Coverage: 2,233 s.f. (44%)

Existing Lot Coverage: 1,491 s.f. (29.4%)
 Existing Gross Floor Area:
 Dwelling - Living Area: 971 s.f.
 Detached Garage: 468 s.f.
 Total Existing Floor Area: 1,439 s.f. (.283)

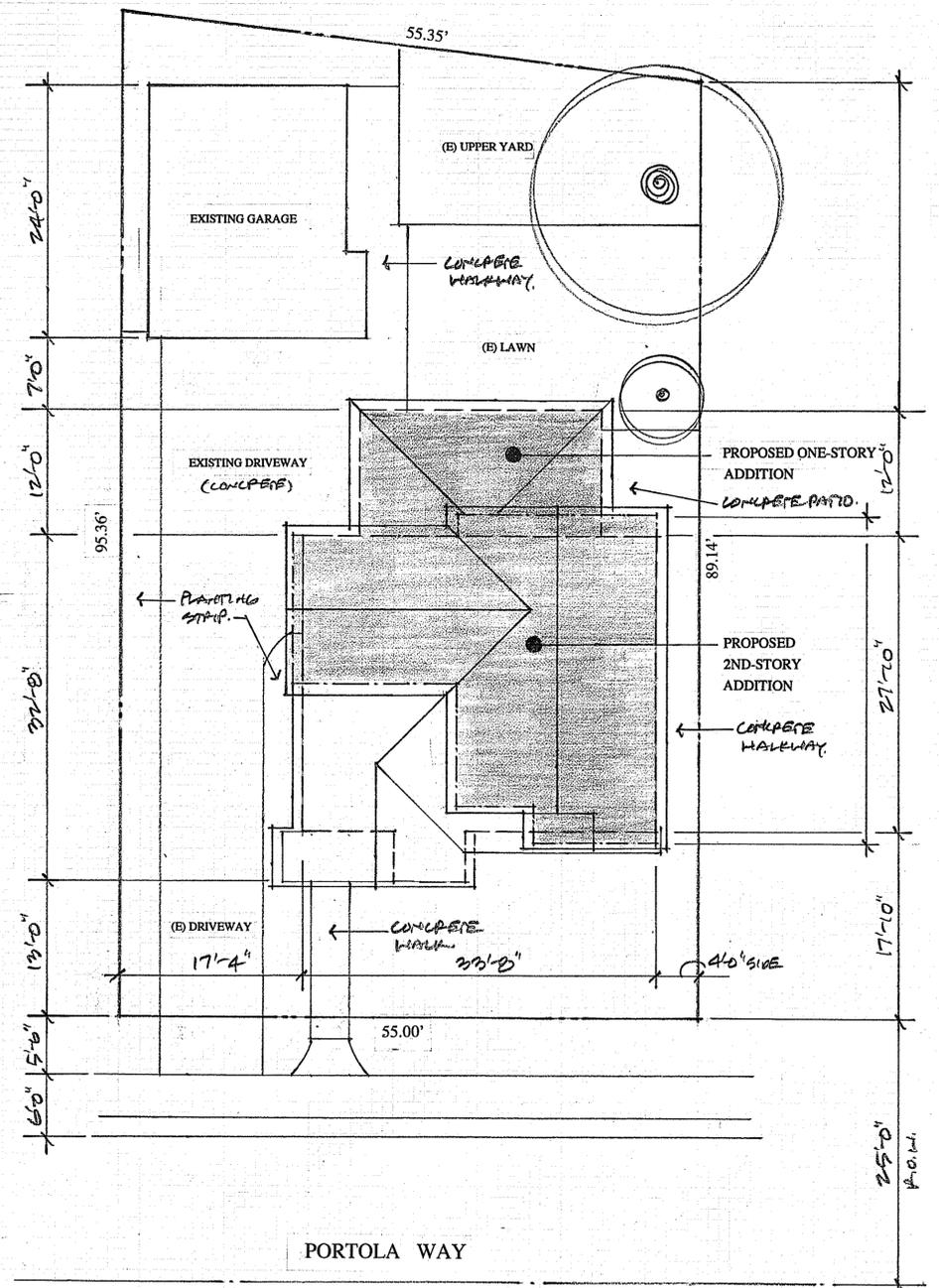
Proposed Addition:
 First Floor - Living Area: 276 s.f.
 Second Floor - Living Area: 721 s.f.
 Total Added Floor Area: 997 s.f.

Added Lot Coverage: 276 s.f.

Proposed Building Area:
 Living Area: 2,323 s.f.
 Garage Area: 468 s.f.

Proposed Gross Floor Area: 2,436 s.f. (.48)
Proposed Lot Coverage: 1,767 s.f. (34.8%)
Floor Area Ratio Increase (%): 69.3%

Area of Impervious Surfaces: 940 s.f. (18.5%)
Impervious Area in Front Yard: 196 s.f. (26%)



SITE & ROOF PLAN 1/8"=1'-0"

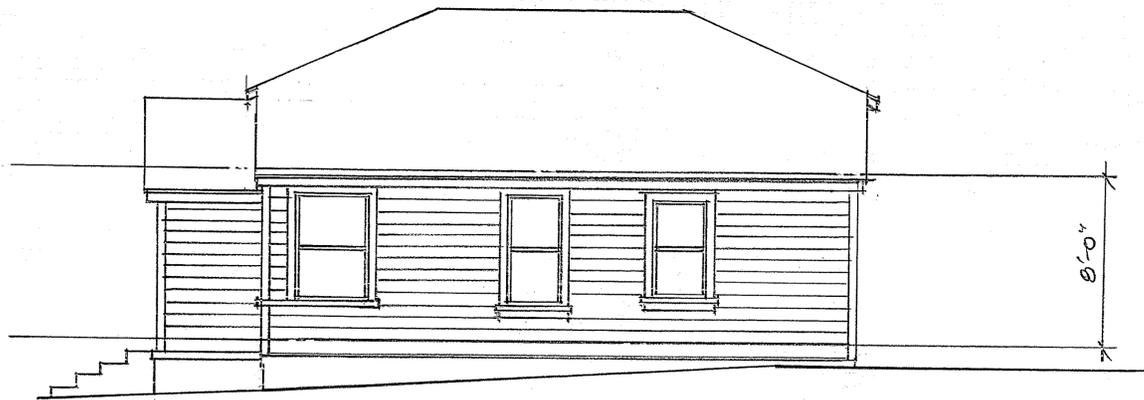
REVISIONS	BY

Ibarra Associates
 ARCHITECTURE & PLANNING
 100 LUCIA COURT
 SAN BRUNO, CA 94066
 650-589-4613 FAX

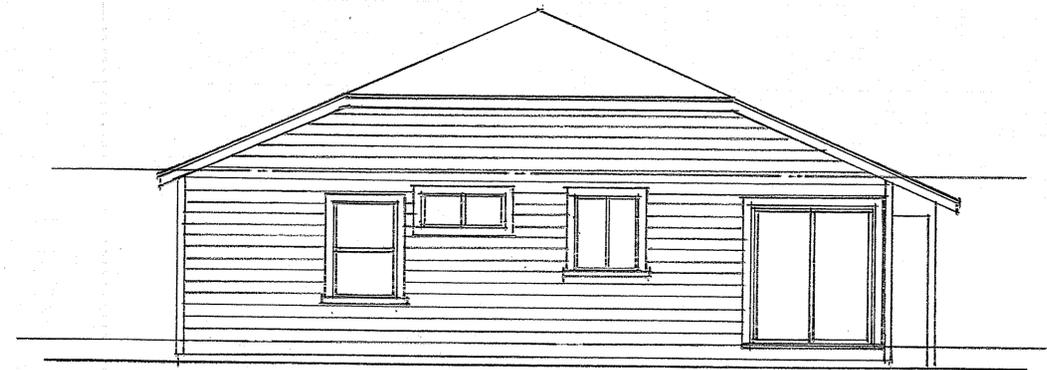
RESIDENTIAL REMODEL & ADDITION
151 PORTOLA WAY
 SAN BRUNO, CALIFORNIA OWNER: R. & B. WEAVER

SITE/ROOF PLAN
 EXISTING FLOOR PLAN

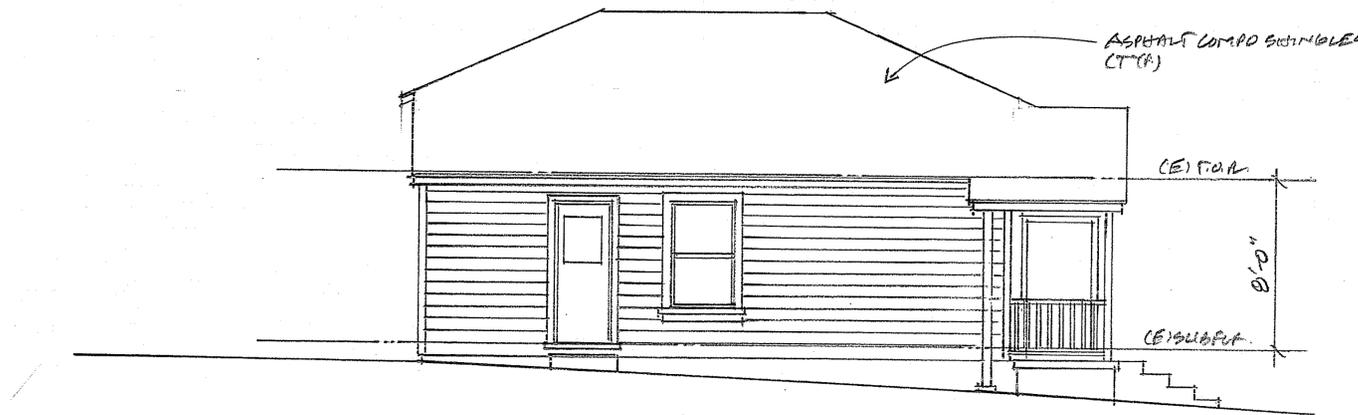
Date 10.15.15
 Scale HOFFO
 Drawn E
 Job 2015-02
 Sheet **A.1**
 Of 4 Sheets



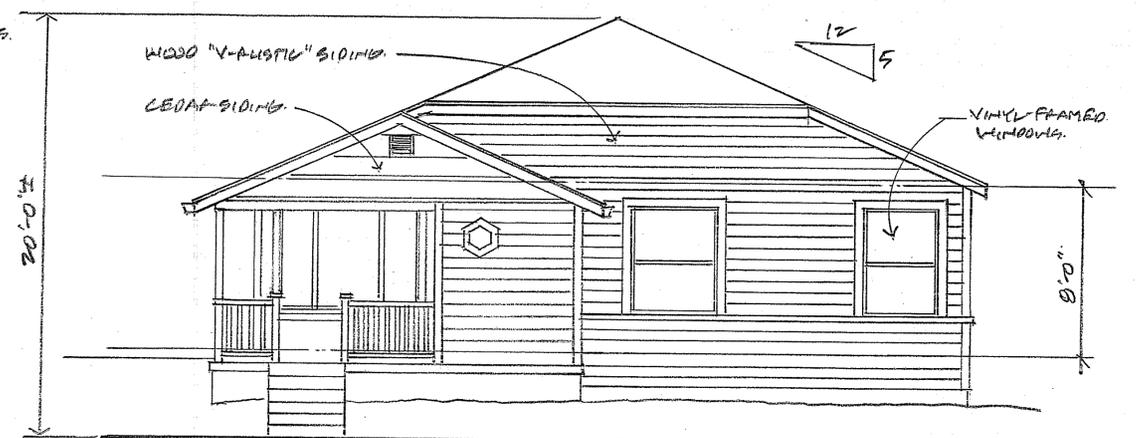
EXISTING RIGHT SIDE ELEVATION - WEST



EXISTING REAR ELEVATION - SOUTH



EXISTING LEFT SIDE ELEVATION - EAST



EXISTING FRONT ELEVATION - NORTH

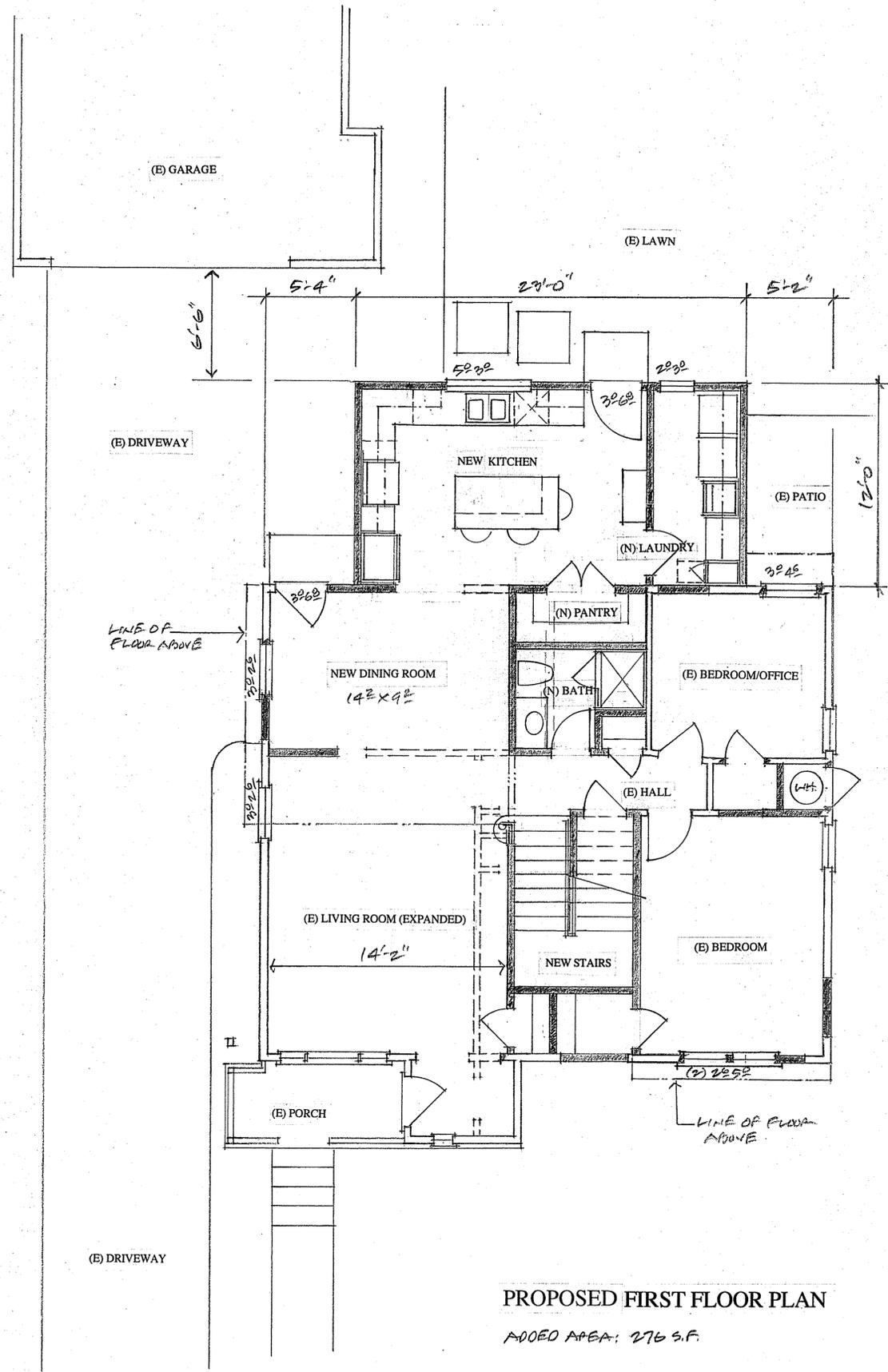
REVISIONS	BY

Ibarra Associates
 ARCHITECTURE & PLANNING
 100 LUCIA COURT
 SAN BRUNO, CA 94066
 650-389-4613

RESIDENTIAL REMODEL & ADDITION
151 PORTOLA WAY
 SAN BRUNO, CALIFORNIA
 OWNER: R. & B. WEAVER

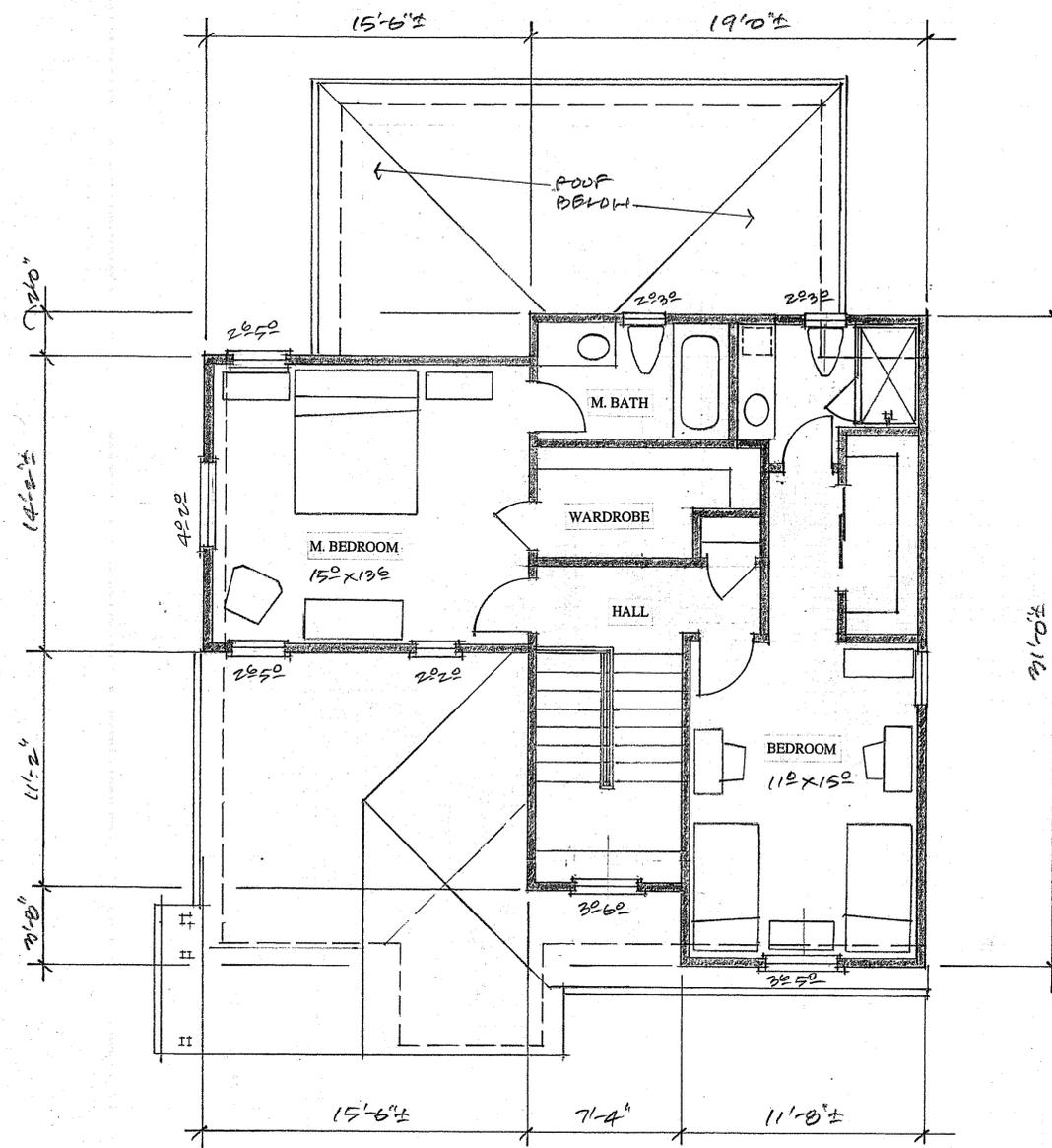
EXISTING
 EXTERIOR
 ELEVATIONS

Date 01.24.15
 Scale 1/4"
 Drawn [Signature]
 Job 2015.02
 Sheet **A.2**
 Of 4 Sheets



PROPOSED FIRST FLOOR PLAN

ADDED AREA: 276 S.F.



PROPOSED SECOND FLOOR PLAN

ADDED AREA: 771 S.F.

FLOOR PLAN LEGEND

- EXISTING TO REMAIN
- - - EXISTING TO BE REMOVED OR RELOCATED
- NEW 2x4 STUD WALL UNLESS OTHERWISE NOTED
- (N) DENOTES NEW
- (E) DENOTES EXISTING

REVISIONS	BY

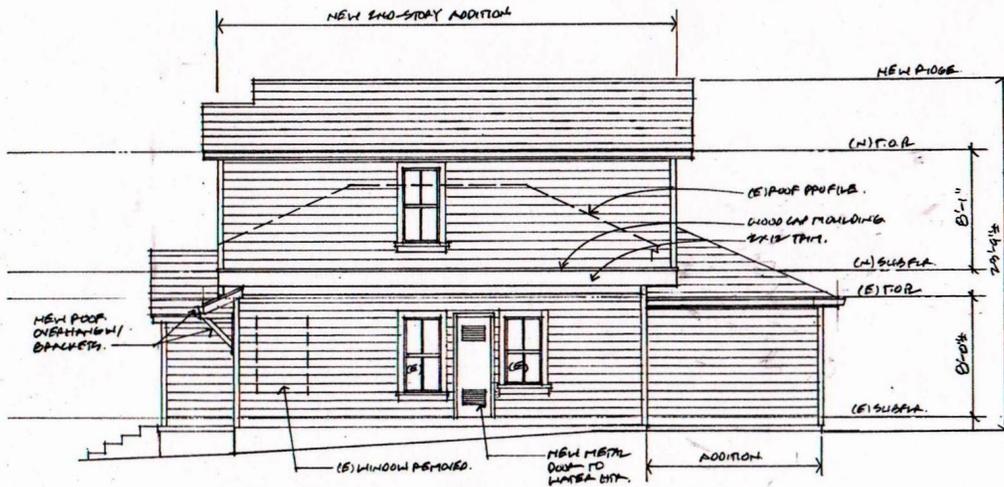
Ibara Associates
 ARCHITECTURE & PLANNING
 100 LUCIA COURT
 SAN BRUNO, CA 94066
 650-589-4613

RESIDENTIAL REMODEL & ADDITION
151 PORTOLA WAY
 SAN BRUNO, CALIFORNIA
 OWNER: R. & B. WEAVER

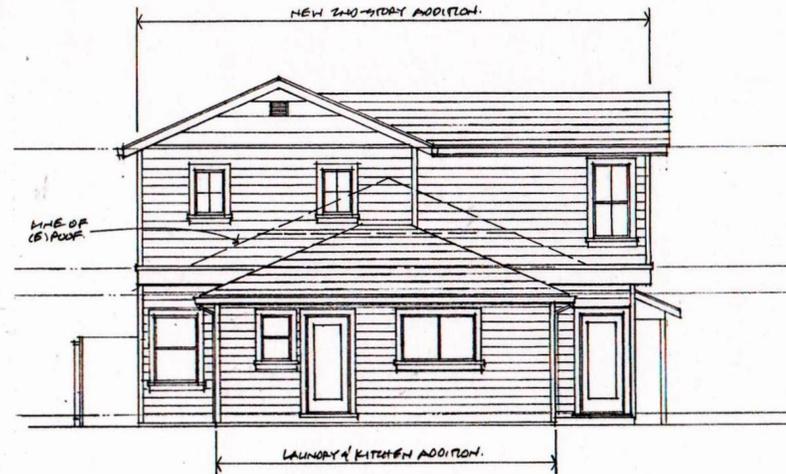
PROPOSED FLOOR PLAN

DATE	8.24.15
SCALE	1/4"
DRAWN	K
JOB	2015.02
SHEET	A.3
OF 4 SHEETS	

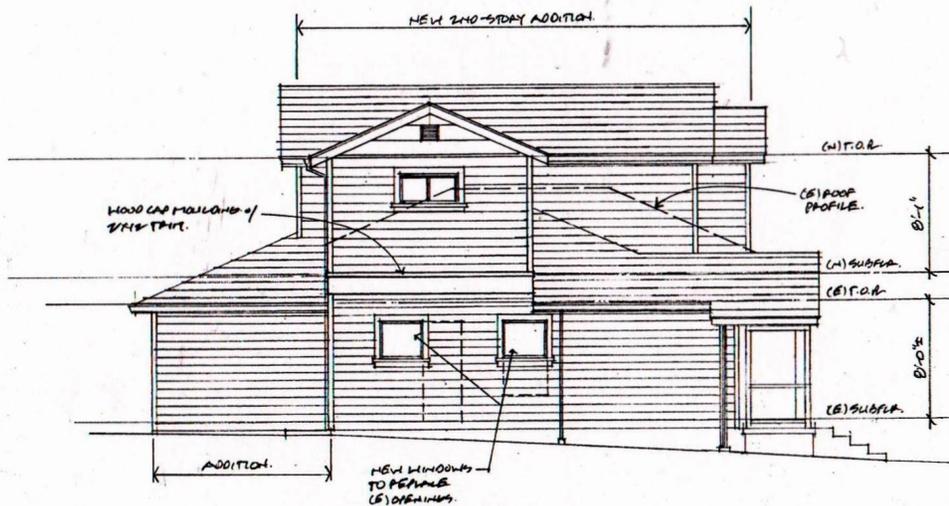
Exhibit C



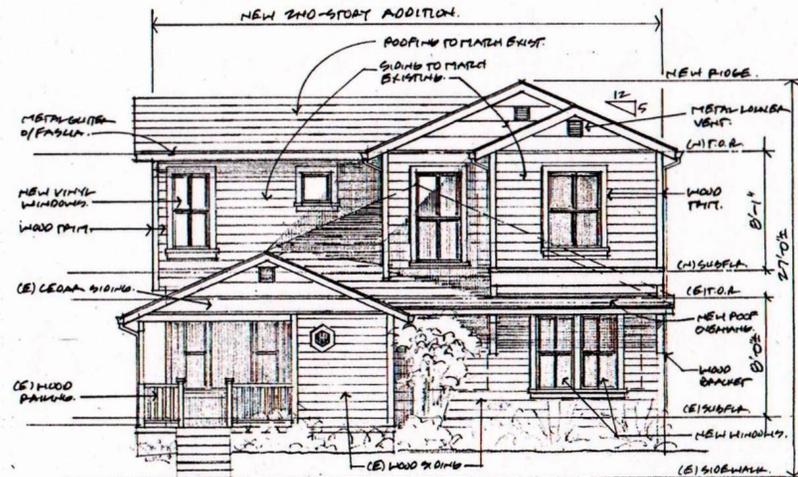
PROPOSED RIGHT SIDE ELEVATION - WEST



PROPOSED REAR ELEVATION - SOUTH



PROPOSED LEFT SIDE ELEVATION - EAST



PROPOSED FRONT ELEVATION - NORTH

REVISIONS	BY
1.24.15	K

Ibarra Associates
 A R UCHICOURT U R R S A N B R I N O C A 9 4 0 6 6
 6 5 0 - 5 8 9 - 4 6 1 3

RESIDENTIAL REMODEL & ADDITION
151 PORTOLA WAY
 SAN BRUNO, CALIFORNIA
 OWNER: R. & B. WEAVER

PROPOSED EXTERIOR ELEVATIONS

Date	10.15.15
Scale	1/4" = 1'
Drawn	K
Job	2015-07
Sheet	A.4
Of 4 Sheets	8/24



567 El Camino Real
San Bruno, CA 94066
Voice: (650) 616-7074
Fax: (650) 873-6749
www.sanbruno.ca.gov

STAFF

David Woltering, AICP, *Community Development Director*
Mark Sullivan, AICP, *Long Range Planning Manager*
Michael Smith, *Senior Planner*
Matt Neuebaumer, *Associate Planner*
Paula Bradley, MCP, AICP, *Contract Associate Planner*
Matt Jones, *Contract Assistant Planner*
Marc Zafferano, *City Attorney*

PLANNING COMMISSION

Mary Lou Johnson, *Chair*
Kevin Chase, *Vice Chair*
Rick Biasotti
Marie Kayal
Sujendra Mishra
Perry Petersen
Joe Sammut

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. 6.B.
December 15, 2015**

PROJECT LOCATION

1. Address: 1801 Cedarwood Court
2. Assessor's Parcel No: 020-021-370
3. Zoning District: R-1 (Single Family Residential)
4. General Plan Classification: Low Density Residential

EXHIBITS

- A:** Site Location
B: Photographs
C: Site Plan, Floor Plans, and Elevations
D: Green Building Statement

REQUEST

Request for a Use Permit to allow the construction of a 510 square foot addition which would increase the gross floor area of the existing home above the maximum permitted floor area ratio (.519) for the district and only provide two (2) parking spaces where three (3) are required, per Sections 12.200.030.B.2 and 12.200.080.A.3 of the San Bruno Municipal Code. David Hirzel (Applicant) Jesus and Maria Ontiveros (Owners) **UP-15-021**.

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit 15-021 based on Findings 1-6, and subject to Conditions of Approval 1 to 26.

REVIEWING AGENCIES

Community Development Department
Public Services Department
Fire Department

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on December 4, 2015.
2. Advertisement published in the San Mateo Daily Journal, Saturday, December 5, 2015.

ENVIRONMENTAL ASSESSMENT

This project is Categorical Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301.e: Existing Facilities.

EXISTING CONDITIONS

The subject property is located on Cedarwood Court at the northern terminus of Cedar Avenue in the Mills Park subdivision. The subject lot measures 5,952 square feet with a slope of approximately 17%. The property is currently developed with a two-story single-family dwelling that was constructed in 1982 and has three bedrooms, three full bathrooms, and two garage parking spaces within 2,740 square feet of floor area (including garage). Immediately adjacent to the subject property are single-family dwellings.

ADDITIONAL INFORMATION

- **Accessory Structures:** There are no accessory structures located on the property.
- **Code Enforcement:** There are no active Code Enforcement cases.
- **Easements:** There is a 5' Public Utility Easements located at the north and east boundaries of the property.
- **Heritage Trees:** There are three trees that qualify as heritage trees located on east side of the site adjacent to Cedar Avenue.
- **Previous additions or alterations:** There have been no previous additions or alterations to the subject property.

SURROUNDING LAND USES

North: Cedarwood Court – R-1 (Single Family Residential)

South: Hickory Drive – R-1 (Single Family Residential)

East: Cedar Avenue – R-1 (Single Family Residential)

West: Cedarwood Court– R-1 (Single Family Residential)

PROJECT DESCRIPTION

The applicant is proposing to remove an existing concrete patio within the rear yard and construct a new one-story addition at the rear of the building in the same location. The new addition would measure 21'-8" in width and 26'-2" in depth for a total area of 510 square feet and provide a larger family room for the occupants. The addition would have a gabled roof that is clad in terra cotta tiles that match the existing roofing materials. The addition itself would be clad in stucco and have vinyl windows that match the existing exterior finishes. If approved and constructed, this would remain a three bedroom, three bathroom home with 3,250 square feet of gross floor area.

Project details are shown in the following table:

SITE CONDITIONS		ZONING REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS
Land Use		R-1	R-1	Same
Lot Area		5,952 s.f. 5,773 s.f. adjusted	5,952 s.f. 5,773 s.f. adjusted	Same
Lot Coverage		2,323 s.f. (39%)	1,659 s.f. (28%)	2,227 s.f. (37%)
Gross Floor Area		2,904 s.f.	2,740 s.f.	3,250 s.f.
Floor Area Ratio		.519	.46	.55
Building Setbacks	Front	15'-0"	20'	Same
	Rear	10'-0"	36'-2"	10'-0"
	R Side	5'-0"	5'-0"	Same
	L Side	5'-0"	16'-0"	Same
Building Height		28'-0"	29'-6' (to roof peak)	Same
Covered Parking		3 spaces	2 spaces	Same

Notes:

- Use Permit required to exceed the maximum permitted floor area ratio (.519) for the District.
- Use Permit required to provide two parking spaces for an addition that would result in the gross floor area exceeding 2,800 square feet where three parking spaces are required.

Square Footage Breakdown:

	Ground floor	Second Floor	Garage	Total
Existing	797	1,502	441	2,740
Proposed	-	510	-	1,150
Total	797	2,102	441	3,250

Notes:

- 2,809 s.f. of living area proposed with a 441 s.f. of garage space

ARCHITECTURAL REVIEW COMMITTEE

The Architectural Review Committee reviewed this project at its November 12, 2015 meeting. The project was forwarded to the Planning Commission with no additional recommendations.

PUBLIC COMMENT

Staff sent a courtesy notice to neighbors on December 4, 2015. No comments have been received as of the completion of this staff report.

ANALYSIS AND RECOMMENDATION

Analysis:

The applicant is proposing to construct a 510 square foot, one story addition at the rear of the building. A Use Permit is required because the gross floor area of the existing home would exceed the maximum permitted floor area and because only two parking spaces would be provided where three parking spaces

are required. The proposal would otherwise meet the lot coverage, setback, and height requirements of the zoning district. Specifically, the proposed gross floor area is 3,250 square feet, which corresponds to a .55 FAR. The addition would be lower than the maximum height of the existing building.

Staff finds that the design of the addition complies with the Residential Design Guidelines. The proposed addition would be well integrated with the existing single-family dwelling and would be compatible with the immediate neighborhood which is characterized by one and two story single-family homes.

The addition would be located at the rear of the building in an area that is not readily visible from the street, thus it will not affect the visual character of the neighborhood. Furthermore, the addition would be finished in materials (stucco, terra cotta tile roofing) that match the building's existing finish materials to provide visual unity in the design.

The addition would expand the building's main living level into the rear yard, adding 510 square feet of floor area to the building in the form of a larger family room. The west side of the addition would align with the building's existing side wall, maintaining the 5' side setback. The east side of the addition would be set back approximately 26' from the side of the building which reduces the building's overall scale and maintains sun light access to dining room and kitchen located at the rear of the building.

Regarding parking, the addition would add common living area to the building and not additional bedrooms or bathrooms. Therefore, staff believes that the addition would not result in additional occupants which is generally associated with greater parking demand.

Findings:

*Pursuant to the City's Municipal Code, the Commission shall grant the Use Permit if it makes the following findings. Required findings are in **bold** followed by staff's analysis of the merits of the project and how the findings can be made.*

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the home will be constructed according to the California Building Code (CBC) and, therefore, will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

- 2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)**

The applicant is proposing a one story addition that will be located in the rear yard area. The proposal will benefit the City and the surrounding neighborhood by improving the property in a well-designed manner. Therefore, staff finds that the project will not be detrimental to improvement in the neighborhood or to the general welfare of the City.

Regarding parking, the project is required to provide one additional parking space as required by the Municipal Code. The applicant is seeking a Use Permit to not provide the one additional parking space. The proposed addition would not add bedrooms to the building; therefore, it is presumable that the

project would not result in additional occupants and by extension it would not result in increased demand for neighborhood parking.

3. That the proposed development is consistent with the general plan. (SBMC 12.108.040.H)

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the General Plan designation.

General Plan Policy LUD-3 states, “protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale.” The design of the project reinforces the residential character of the neighborhood.

4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (SBMC 12.108.040.D)

The project would not unreasonably restrict light and air to adjacent properties because it would measure only one story in height and it would respect existing building side setbacks. The adjacent property to the south of the subject property is located on a higher elevation and would look over the roof of the proposed addition. The neighboring property to the east of the subject property is located across Cedar Avenue.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G)

The proposed addition would utilize stucco cladding and terra cotta tile roofing material, which is consistent with the existing home and the immediate neighborhood. The proposed expansion also meets the lot coverage, setback, and height requirements of the zoning district. Therefore, staff finds that the general appearance of the proposed addition will be in keeping with the character of the neighborhood and will not be detrimental to the City.

6. That any proposed single-family or two-family dwelling conforms to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.1)

Staff finds that the proposed addition conforms to the basic design principles of the Residential Design Guidelines. The Residential Design Guidelines recommend selecting materials and roof forms that are consistent with the existing building and the neighborhood. In this instance, the addition would incorporate materials that match the existing building’s exterior finishes, would have a gabled roof form that is integrated into the existing gabled roof, and would have windows on the sides to avoid blank walls. Additionally, the addition would be set back substantially from the east side property line which breaks up the building’s scale.

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit 15-021 based on Findings 1-6 and Conditions of Approval 1-26.

CONDITIONS OF APPROVAL

Community Development

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 15-021 shall not be valid for any purpose. Use Permit 15-021 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included on a full size page in the Building Division set of drawings.
3. The request for a Use Permit shall be built according to plans approved by the Planning Commission on December 15, 2015 labeled Exhibit C, except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The residence shall be used only as a single-family residential dwelling unit. No portion of the residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct another dwelling unit without City approval will result in Code Enforcement action by the City.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the California Building Code. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance.
8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning and Building staff to ensure compliance with the conditions of approval during the construction process.

9. Prior to Final Inspection, the site shall be landscaped according to the plans approved by the Planning Commission on December 15, 2015 and any site landscaping damaged during construction shall be replanted to the satisfaction of the Community Development Director.
10. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.
11. The developer shall indemnify, defend, and hold harmless the city, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the city's consideration and/or approval of the developer's application for development.

Public Services Department

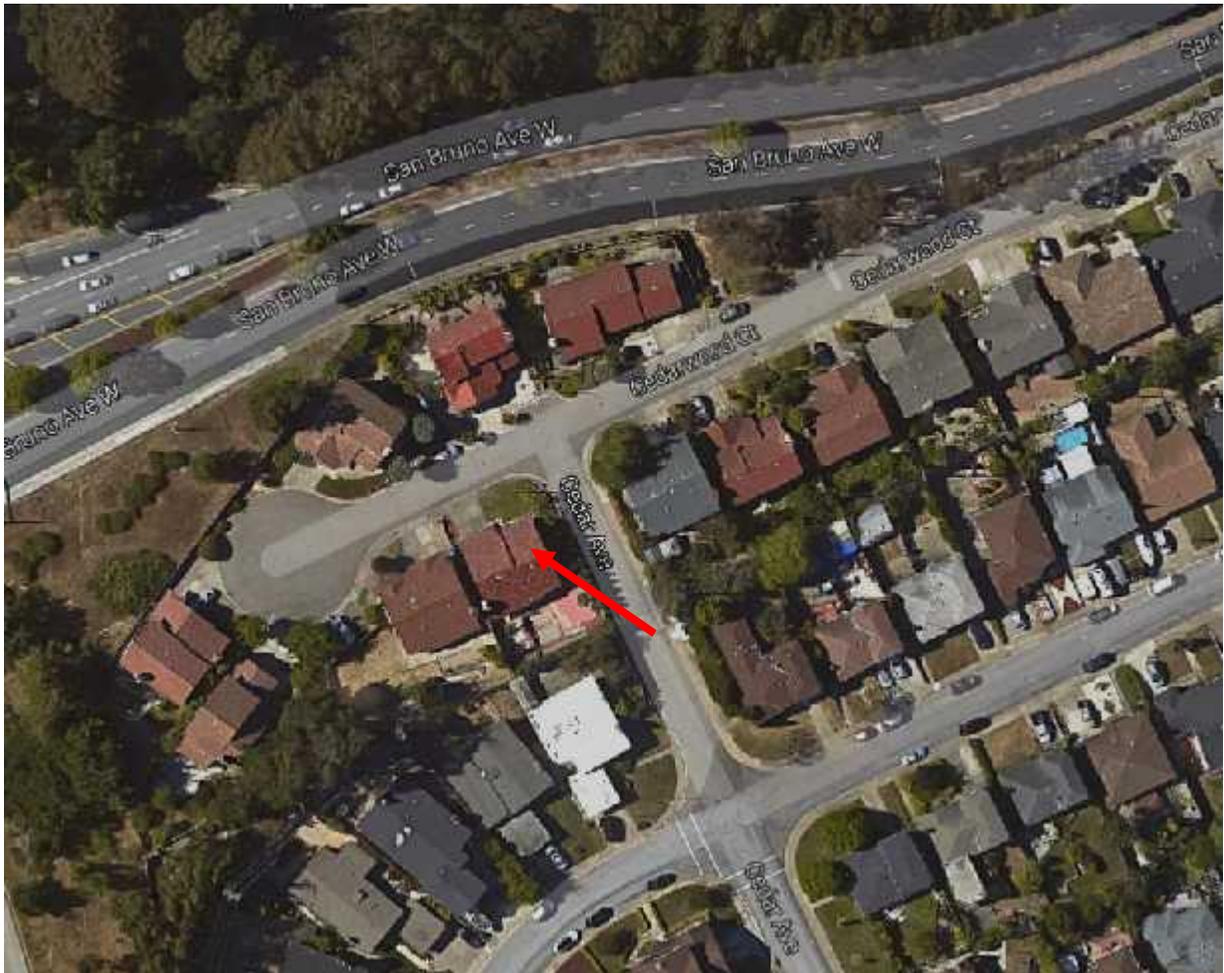
12. There are easements along the property line at 1801 Cedarwood Court. No fences, retaining walls, or any permanent structures shall be placed or constructed within these easements.
13. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all existing and proposed grading and drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
14. Show on the plans flow line diagrams for cold water lines, hot water lines, gas lines, and sanitary sewer lines to include all existing and proposed systems in accordance with the applicable California Building Code 2013.
15. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02, dated June 2015. Older clean outs not meeting current City standards shall be replaced.
16. The applicant shall plant one 36-inch box size approved tree or pay an in-lieu fee to the replacement tree fund per the most current fee schedule. Tree shall be located on 1801 Cedarwood Court per SBMC 8.24.060. At the current rate, the impact payment required is \$540. A separate tree-planting permit is required from Parks Division for any new street tree.
17. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property shall be removed and replaced. Remove and replace all damaged and/or broken sidewalk at front of property for all locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010.
18. Prior to final inspection, paint the address number on face of the curb near the driveway approach with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted.
19. Obtain an Encroachment Permit from Public Works Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit.

20. An erosion control plan and storm water pollution prevention plan is required. The applicant shall show existing storm drain inlets and other storm water collection locations protected by silt screens or silt fence. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
21. Show on plans how storm water shall be collected from downspouts and other on-site drainage and drained into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary.
22. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for review.
23. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing $\frac{3}{4}$ -inch water meter is sufficient to serve proposed water demand. If existing meter is undersized a new meter is required. Applicant shall pay water and sewer capacity charges based on the size of the water meter installed along with materials and installation of an upgraded water meter. S.B.M.C. 10.14.020/110. Indicate on the plans the location of the existing water meter and the available water pressure at the property.

Fire Department

24. Address numbers shall be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
25. Provide hard-wired smoke detectors with battery backup as required by building code.
26. Provide spark arrester for chimney if not currently in place.

Date of Preparation: December 11, 2015
Prepared by: Michael Smith, Senior Planner



**1801 Cedarwood Court
020-021-370
UP-15-021**

Exhibit A: Site Location

Subject Site



Neighboring Properties

Exhibit B: Photographs



City of San Bruno
 Building Safety Division
 567 El Camino Real
 San Bruno, CA 94066

Permit Center: (650) 616-7076
 Inspection Request: (650) 616-7074
 Fax: (650) 873-6749

2013 CALIFORNIA GREEN BUILDING STANDARD CODE (CGC) RESIDENTIAL CHECKLIST

New residential buildings shall be designed to include the green building mandatory measures specified in this checklist. This checklist shall also be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to the specific area of the addition or alteration.

BUILDING PERMIT NO.:

ADDRESS:

1801 PACIFICA CANTONMENT CT. SAN BRUNO

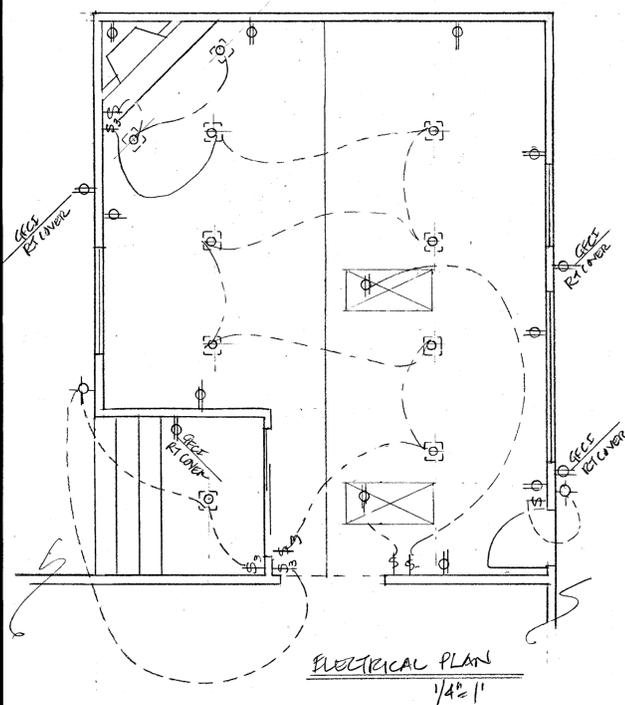
MANDATORY MEASURES SPECIFIED
 (Please check boxes below)

Feature or Measure	Yes
SITE DEVELOPMENT	
A plan has been developed and will be implemented to manage storm water drainage during construction per CGC 4.106.2 & 4.106.3	<input checked="" type="checkbox"/>
WATER EFFICIENCY AND CONSERVATION	
Plumbing fixtures (Water closets and urinals) shall comply with the following:	
The effective flush volume of all water closets shall not exceed 1.28 gal/flush (CGC 403.1.1)	<input type="checkbox"/>
The effective flush volume of urinals shall not exceed 0.5 gal/flush (CGC 403.1.2)	<input type="checkbox"/>
Fittings (faucets and showerheads) have all required standards listed on plans and are in accordance to CGC 4.303.1.3 and CGC 403.1.4	<input type="checkbox"/>
Automatic irrigation system controller for landscaping provided by the builder and installed at the time of final inspection shall comply with CGC 4.304	<input type="checkbox"/>
ENHANCED DURABILITY AND REDUCED MAINTENANCE	
Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be rodent proofed by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency per CGC 4.406.1	<input type="checkbox"/>
CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING	
A minimum of 65% of the non-hazardous construction and demolition waste generated at the site shall be diverted to an offsite recycle, diversion, or salvage facility per CGC 4.408	<input checked="" type="checkbox"/>
BUILDING MAINTENANCE AND OPERATION	
An operation and maintenance manual will be provided to the building occupant or owner per CGC 4.410.1	<input type="checkbox"/>
ENVIRONMENTAL QUALITY	
Any gas fireplaces shall be a direct-vent sealed-combustible type.	<input checked="" type="checkbox"/>
Any wood stove or pellet stove shall comply with US EPA Phase II emission limits per CGC 4.503.1	<input type="checkbox"/>
POLLUTANT CONTROL	
At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution components openings shall be covered with tape, plastic, sheet metals, or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris, which may enter the system per CGC 4.504.1.	<input checked="" type="checkbox"/>
Adhesive, sealants and caulks shall meet the VOC or other toxic compound limits per CGC 4.504.2.1.	<input checked="" type="checkbox"/>
Paints and coatings shall comply with VOC limits per CGC 4.504.2.2.	<input checked="" type="checkbox"/>
Aerosol paints and coatings shall meet the Product-weighted MIR limits for ROC and other requirements per CGC 4.504.2.3.	<input checked="" type="checkbox"/>
Documentation will be provided, at the request of the Building Division, to verify compliance with VOC finish materials per CGC 4.504.2.4.	<input checked="" type="checkbox"/>
Carpet system installed in the building interior shall meet the testing and product requirement per CGC 4.504.3.	<input checked="" type="checkbox"/>
Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the requirements per CGC 4.504.4.	<input type="checkbox"/>
Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior and exterior of the building shall comply with the low formaldehyde emission standards per CGC 4.504.5.	<input checked="" type="checkbox"/>

Feature or Measure	Yes
INTERIOR MOISTURE CONTROL	
A capillary break shall be installed if a slab on grade foundation system is used. The use of a 4" thick base of 1/2" or larger clean aggregate under a 6 mil vapor retarder with joint lapped not less than 6" will be provided per CGC 4.505.2 and CRC R506.2.3.	<input type="checkbox"/>
Building materials with visible signs of water damage shall not be install. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be checked prior to finish material being applied per CGC 4.505.3.	<input checked="" type="checkbox"/>
INDOOR AIR QUALITY AND EXHAUST	
Exhaust fans, which are ENERGY STAR compliant and be ducted to terminate outside the building, shall be provided in every bathroom per CGC 4.506.1.	<input type="checkbox"/>
ENVIRONMENTAL COMFORT	
Heating and air-conditioning system shall be sized, designed and have their equipment selected using the following methods: 1. Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2004 or equivalent; 2. Duct systems are sized according to ANSI/ACCA 1, Manual D-2009 or equivalent; 3. Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2004 or equivalent.	<input checked="" type="checkbox"/>
INSTALLER AND SPECIAL INSPECTOR QUALIFICATION	
HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognize training or certification program per CGC 702.1.	<input type="checkbox"/>
VERIFICATION	
Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the building department which will show substantial conformance.	<input checked="" type="checkbox"/>

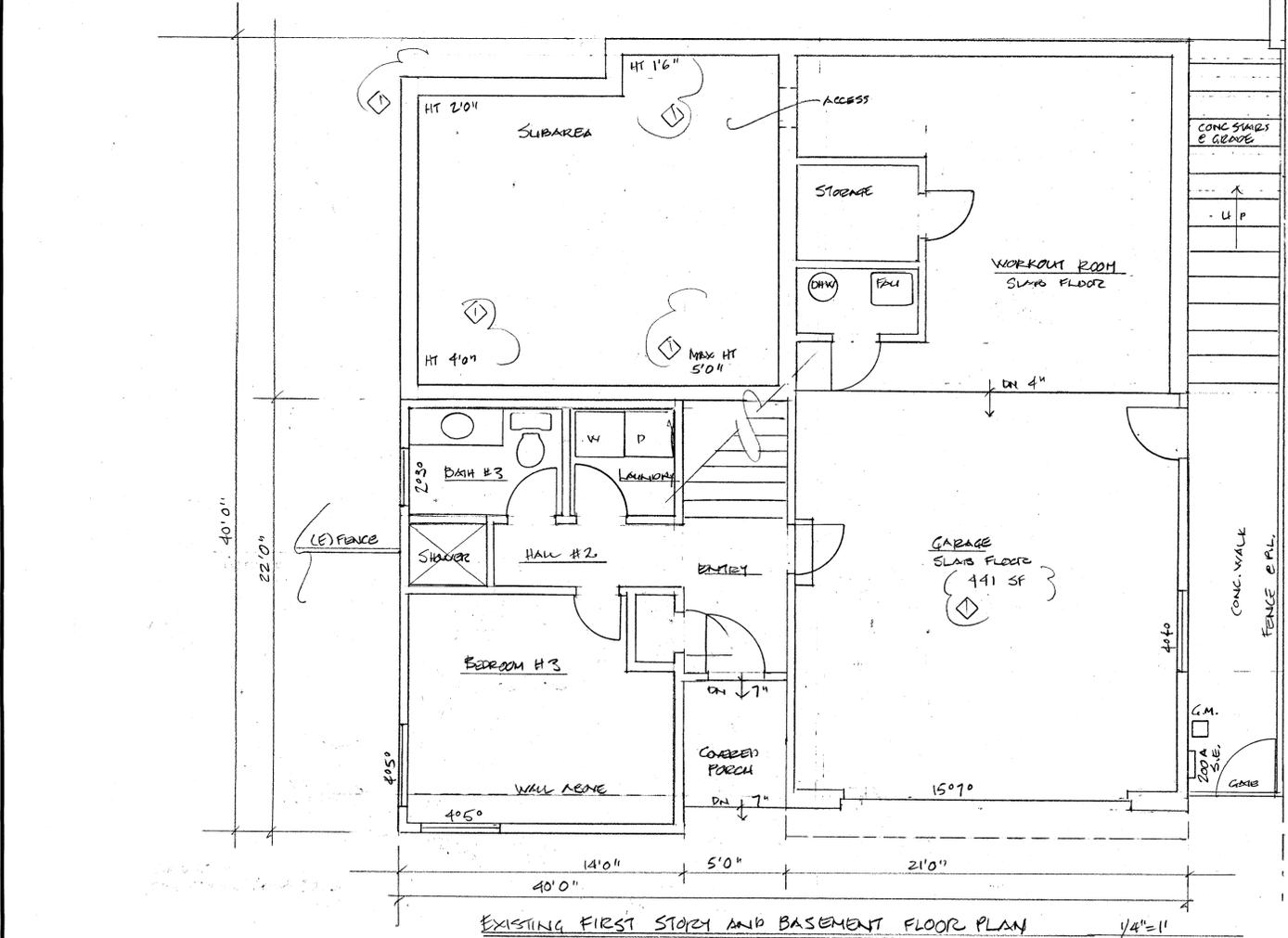
Responsible Designer's Declaration Statement	Contractor Declaration Statement
I hereby certify that this project has been designed to meet the requirements of the 2013 California Green Building Standards Code.	I hereby certify, as the builder or installer under the permit listed herein, that this project will be constructed to meet the requirements of the California Green Building Standards Code.
Name: <u>DAVID HIRZEL</u>	Name:
Signature: <u>[Signature]</u>	Signature:
Date: <u>9 21 15</u>	Date:
Company: <u>DAVID HIRZEL BLDG DESIGN</u>	License:
Address: <u>P.O. BOX 1208</u>	Address:
City: <u>PACIFICA</u> State: <u>CA</u> Zip: <u>94044</u>	City: State: Zip:

REVISIONS	BY
10 25 15	DH

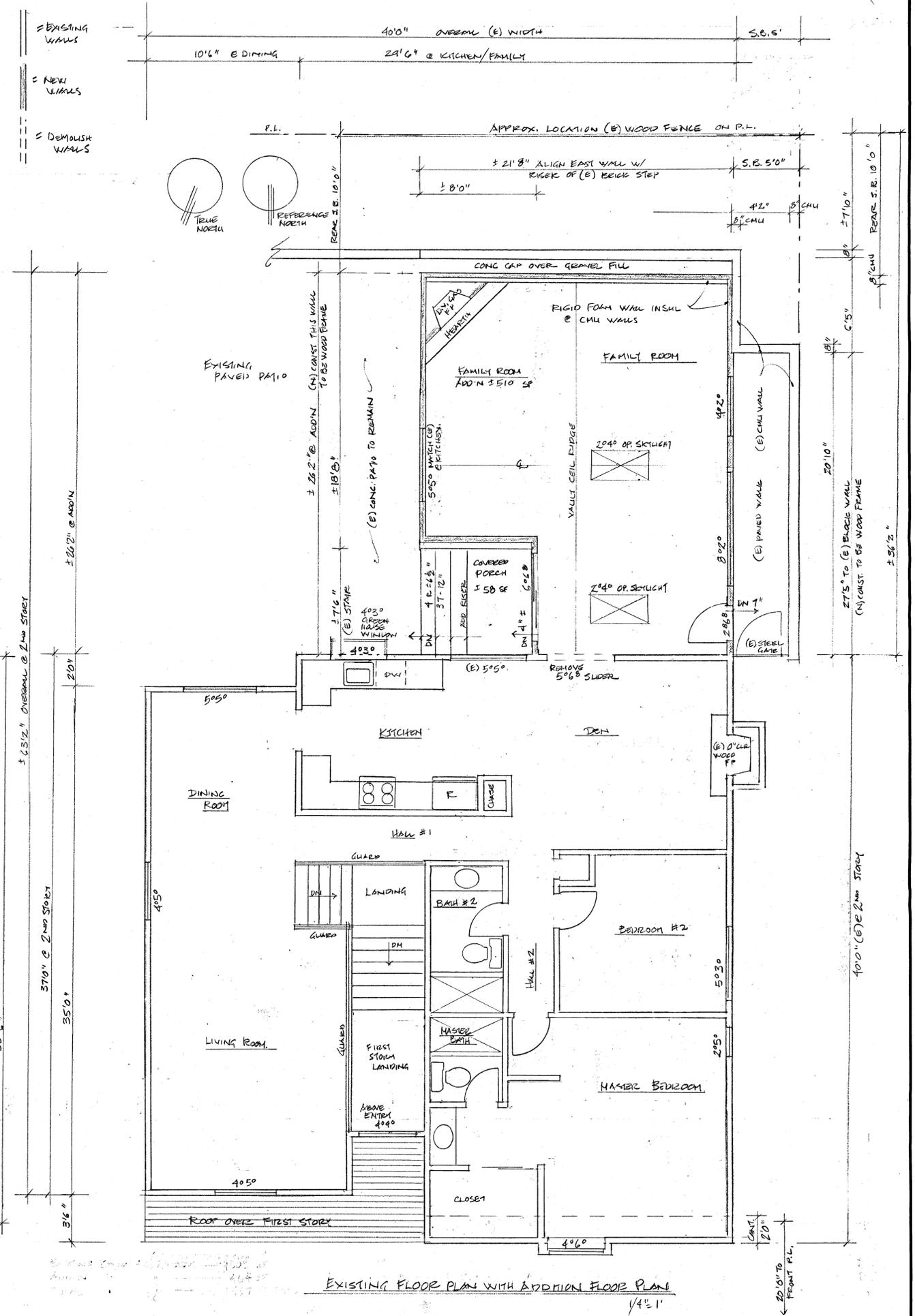


- GENERAL ELECTRICAL NOTES**
- EXTERIOR:**
 - A. Exterior switches and outlets shall be provided with weatherproof covers. Receptacles shall be GFCI protected and be furnished with bubble-type "rain-tight while in use" covers.
 - B. When possible, place exterior switches, sconces, and receptacles in stud bays separate from those containing interior switches, sconces, and receptacles.
 - C. Exterior lighting outlets and fixtures shall not be located more than nine feet above adjacent grade or required landing. Walls or portions of walls shall not be floodlit. Exterior lighting shall be designed and located so that the cone of light and/or glare from the lighting element is kept entirely on the property.
 - D. Provide one exterior receptacle at any deck or patio.
 - E. Outside receptacles shall be on a dedicated circuit.
 - F. All luminaires mounted to the building or to other buildings on the same lot shall be high efficacy luminaires or shall be controlled by a photocontrol/motion sensor combination.
 - OTHER ELECTRICAL:**
 - A. Dimensions on plans indicate distance above finish floor to center line of box. Receptacle boxes shall be 12", and switch boxes shall be 48" above finish floor UON.
 - B. Switches and receptacles in exterior walls shall be provided with anti-draft gaskets.
 - C. Seal all electrical penetrations and holes into unconditioned spaces with spray foam insulation.
 - D. Provide at least one wall switch-controlled outlet or a light in each proposed room (CEC 210-70)
 - E. Receptacles shall be maximum 12" o.c. and within 6' of ends of walls, including any wall space 2' or more in width, and within 6' of any door, as measured along the base of the wall. Floor-to-ceiling windows and fixed panels of doors are included in wall space.
 - F. Luminaires that are recessed into insulated ceilings are required to be rated for insulation contact ("IC-rated") so that insulation can be placed over them. The housing of the luminaire shall be airtight to prevent conditioned air escaping into the ceiling cavity or attic, unconditioned air infiltrating from the ceiling or attic into the conditioned space.
 - G. Interior and exterior stair tread runs shall be provided with an illumination level of not less than one foot-candle.
 - H. Smoke detector alarms shall be provided at all sleeping rooms and all corridors leading to sleeping rooms. Smoke detectors in remodels may be battery operated.
 - I. A carbon monoxide detector is required on each floor level.
 - J. Arc-fault circuit-interrupter protection is now required to protect all branch circuits supplying 125-volt, single-phase, 15- and 20-ampere outlets in dwelling unit dens, bedrooms, sunrooms, living rooms, parlors, libraries, recreations rooms, closets, hallways or similar areas. This includes circuits serving receptacles, lighting, and smoke detectors. All outlets must be protected. Note: a dedicated circuit is not required.
 - K. All 125-volt, 15- and 20- Ampere receptacle outlets shall be listed tamper-resistant receptacles per CEC 406.11.
 - L. Contractor shall coordinate exact locations of all fixtures with owner prior to installation of rough-in electrical. Specific fixture types to be coordinated directly with owner.
 - M. The contractor shall coordinate with the owner for the specifications and installation of any residential security system.
 - N. Grounding to comply with NEC Sec. 250-81.
 - O. Cutsheets for all appliances and fixtures to be installed, showing requirements for rough electrical installation, shall be provided to the electrical subcontractor during framing and prior to insulation and closing of walls.

ELECTRICAL PLAN
1/4" = 1'



EXISTING FIRST STORY AND BASEMENT FLOOR PLAN
1/4" = 1'



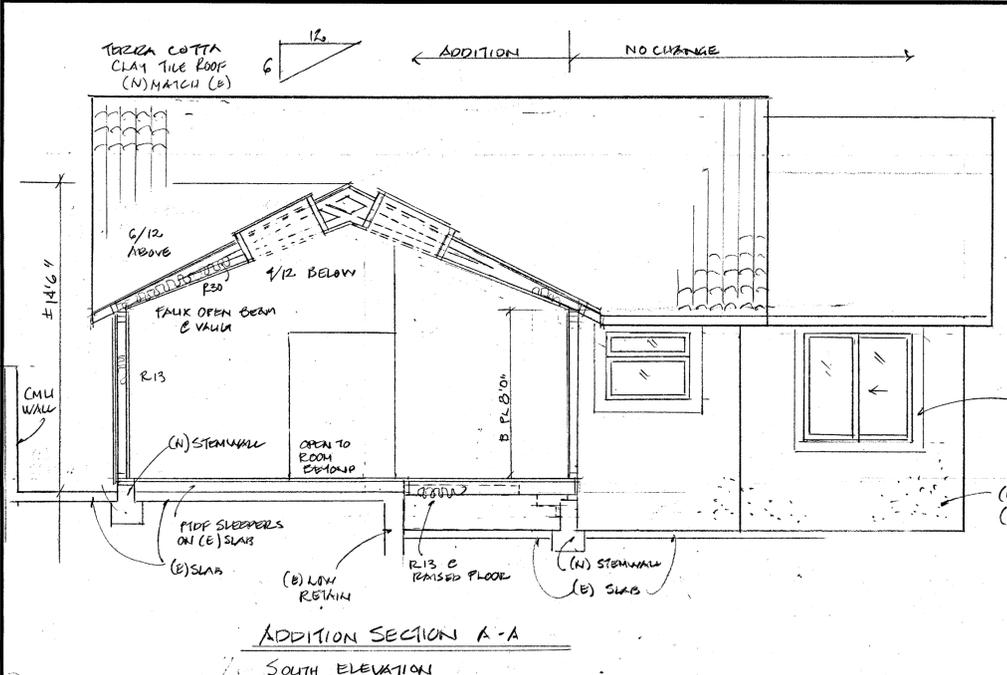
EXISTING FLOOR PLAN WITH ADDITION FLOOR PLAN
1/4" = 1'

DAVID HIRZEL BUILDING DESIGN
P. O. BOX 1808
PACIFICA, CA 94044
(650) 757-6604
dhd@shglobal.net

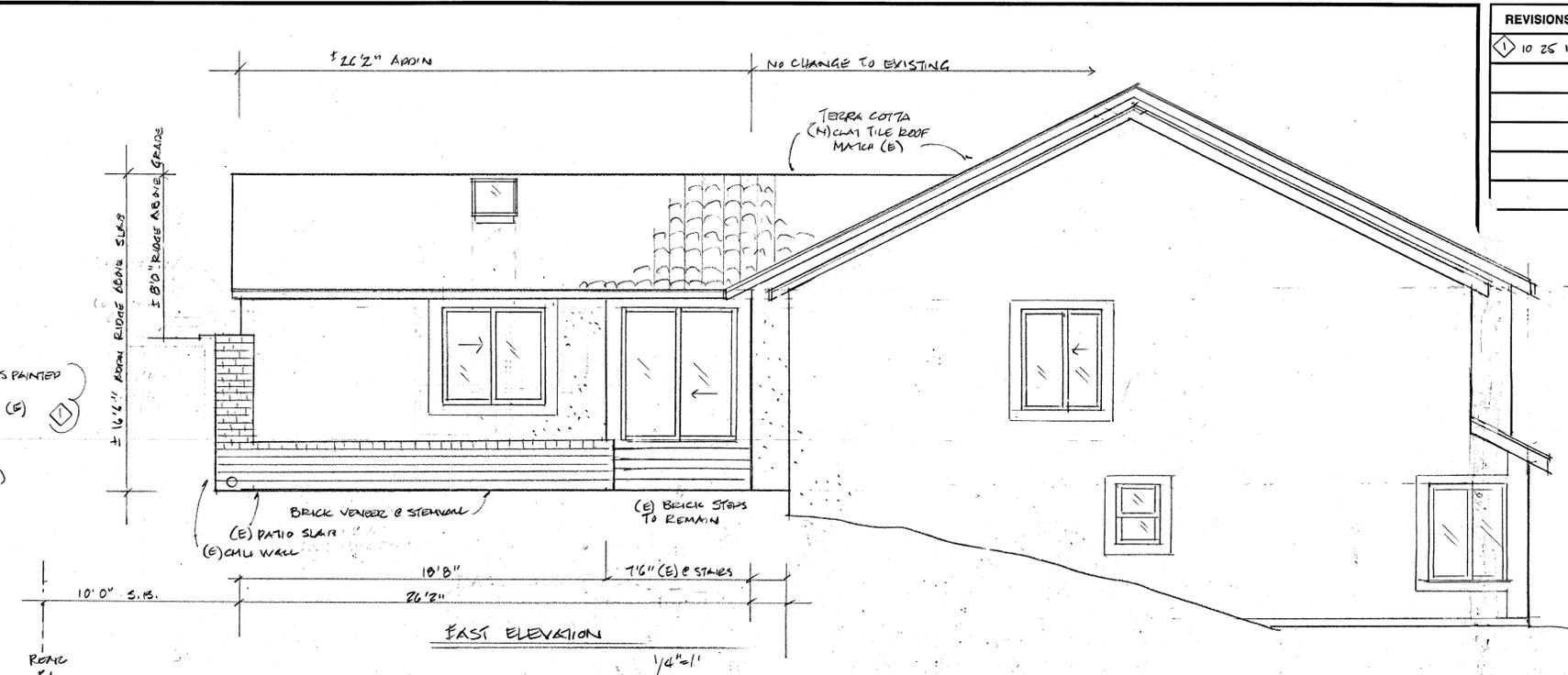
OWNER: JESUS CONTRERAS
1801 CALIFORNIA CT.
SAN BRUNO CA
650 589 6888
SITE: 1801 CALIFORNIA CT.
SAN BRUNO CA

Date 9 9 15
Scale 1/4" = 1'
Drawn
Job PEN 208 VZ
Sheets
A1
Of Sheets

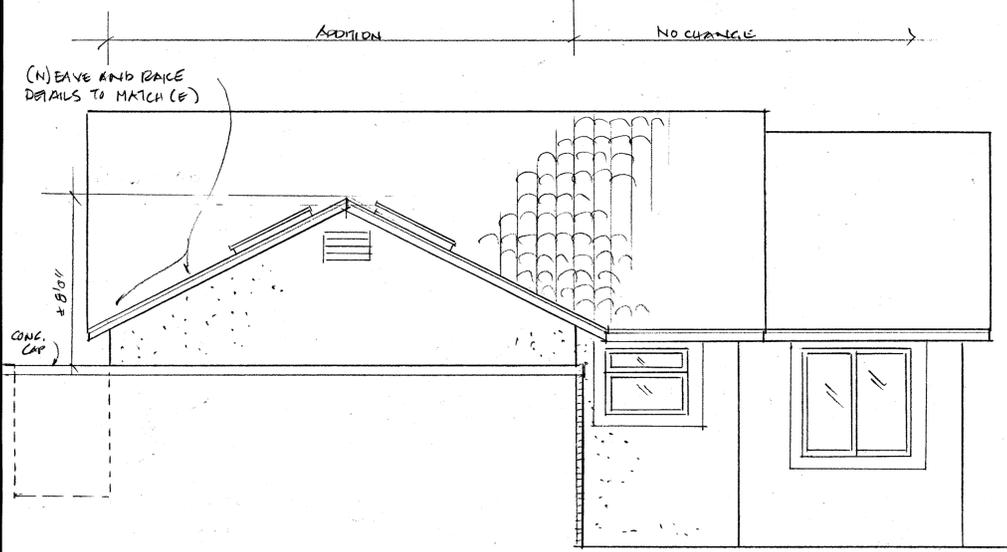
REVISIONS	BY
10 25 15	DH



ADDITION SECTION A-A
SOUTH ELEVATION

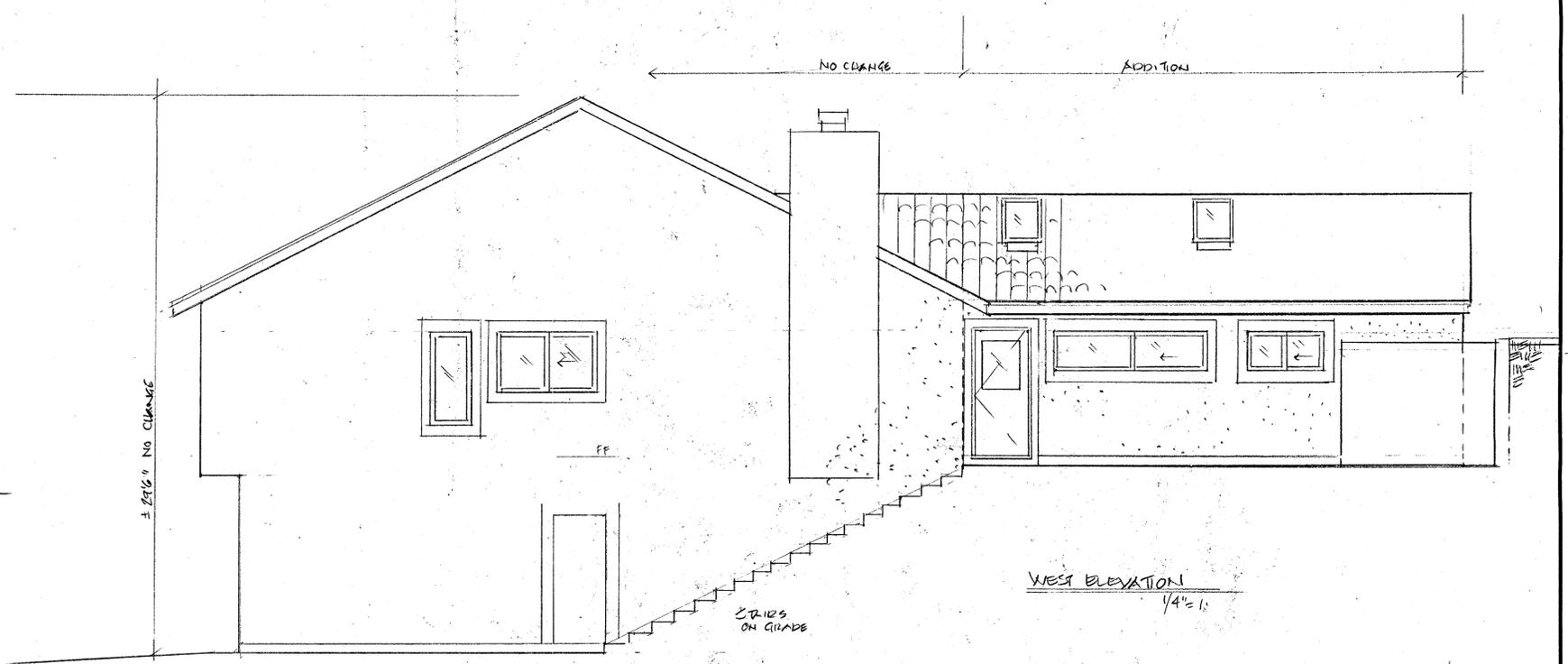


FRONT ELEVATION



SOUTH ELEVATION

NO CHANGE TO NORTH ELEVATION
56'5'0" 21'8" ADDN



WEST ELEVATION

DAVID HIRZEL BUILDING DESIGN
P. O. BOX 1808
PACIFICA CA 94044
(650) 757-6604
dhd@ahgobal.net

OWNER: JESUS ANTONIO
1801 CEDARWOOD CT.
SAN BERNARDINO CA
650-584-6288
SITE: 1801 CEDARWOOD CT.
SAN BERNARDINO CA

DATE: 9/16/15
SCALE:
DRAWN:
JOB PLAN SUB 1/2
SHEET
AZ
OF SHEETS

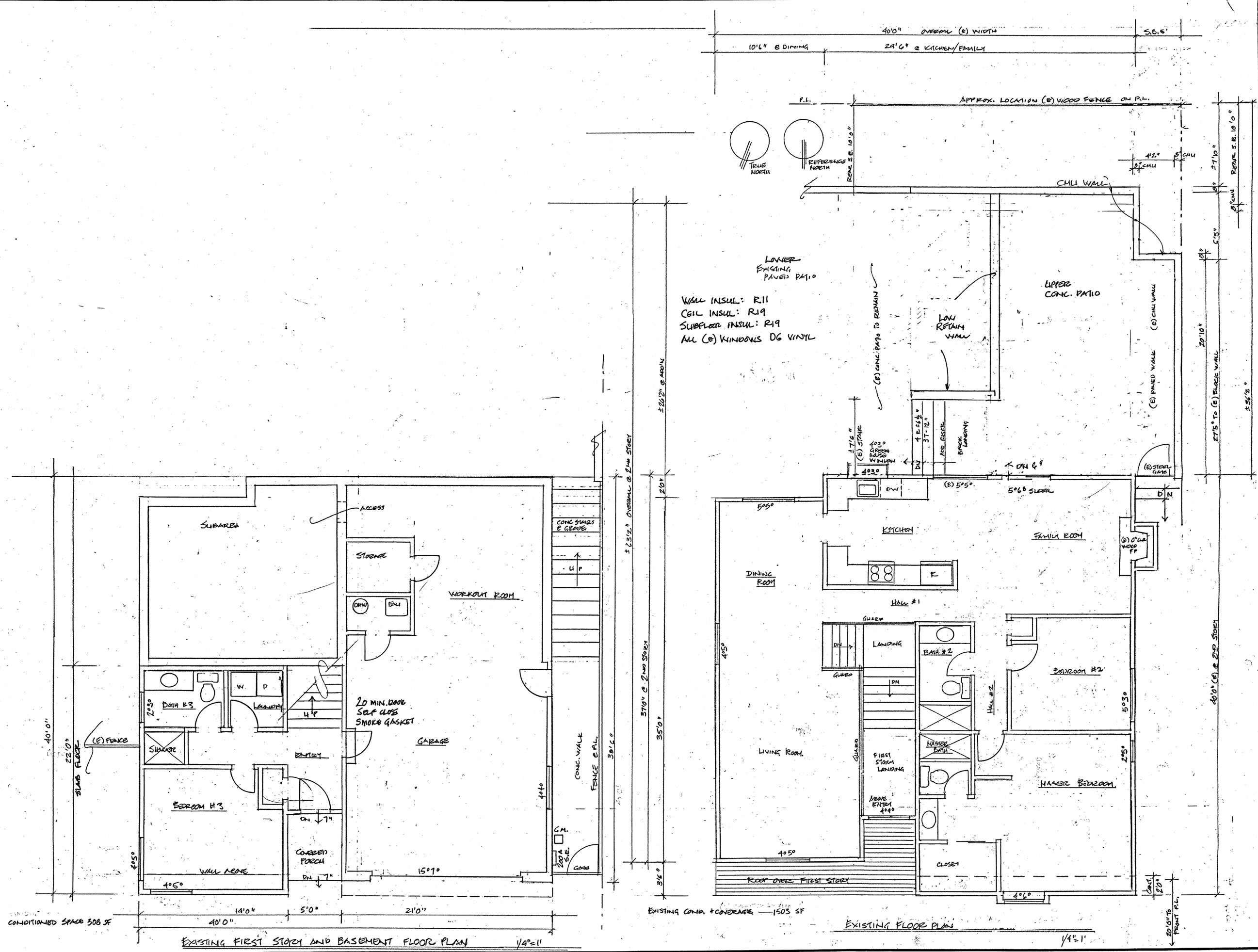
APP: 020-021-370

REVISIONS	BY

DAVID HIRZEL BUILDING DESIGN
P. O. BOX 1808
PACIFICA, CA 94044
(650) 757-6604
dabd@abgglobal.net

OWNER: JESUS ONTIVEROS
1801 CEDARWOOD CT.
SAN BRUNO CA
CSO 589 6188
SITE: 1801 CEDARWOOD CT.
SAN BRUNO CA
APR: 020-021-310

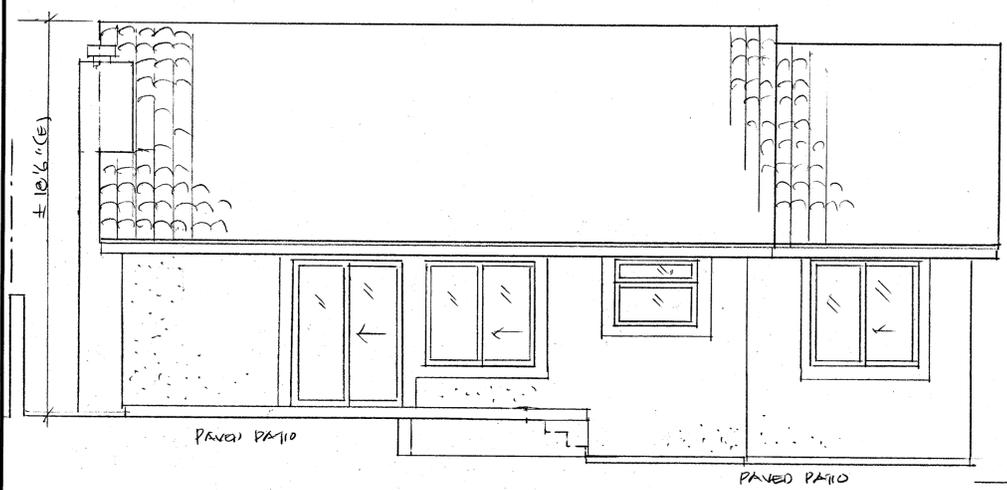
Date 9.9.15
Scale 1/4" = 1'
Drawn
Job #
Sheets
ABI
Of Sheets



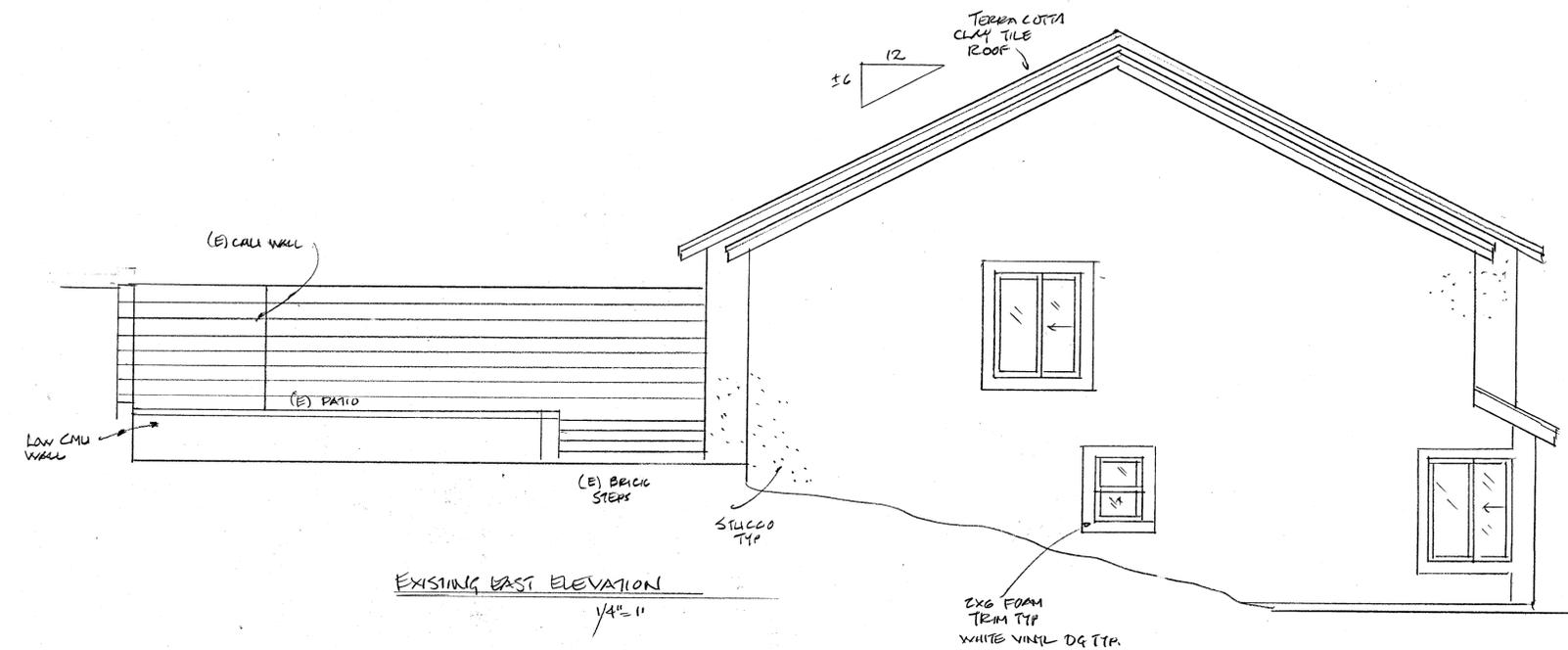
EXISTING FIRST STORY AND BASEMENT FLOOR PLAN 1/4"=1'

EXISTING FLOOR PLAN 1/4"=1'

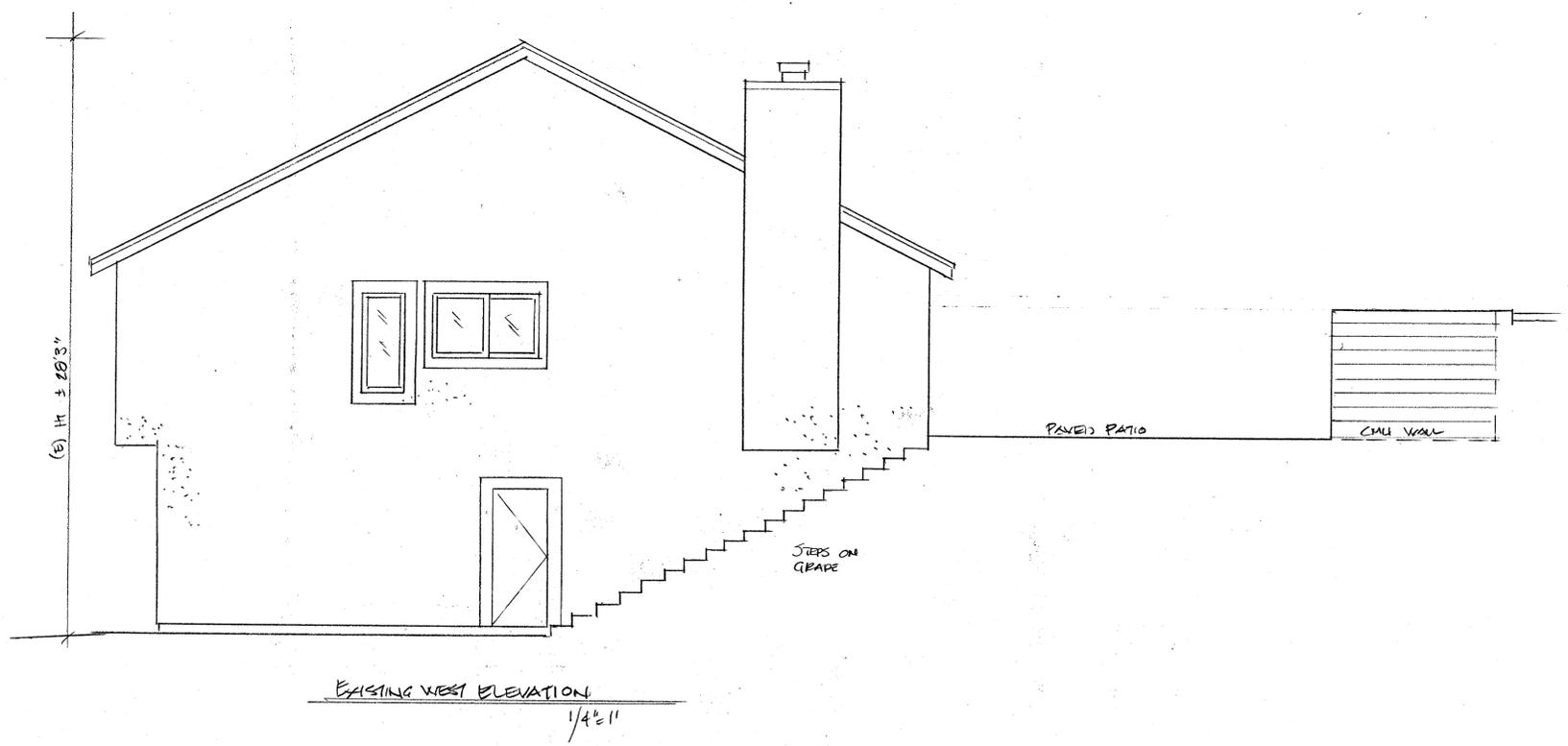
REVISIONS	BY



EXISTING SOUTH (REAR) ELEVATION
1/4"=1'



EXISTING EAST ELEVATION
1/4"=1'



EXISTING WEST ELEVATION
1/4"=1'

DAVID HIRZEL BUILDING DESIGN
P. O. BOX 1808
PACIFICA, CA 94044
(650) 757-6004
dhirzel@gsbglobal.net

OWNER: JESSIE ORTINER
1801 CERRITOSO CT
SAN BRUNO
650 584-4280
SITE: 1801 CERRITOSO CT
SAN BRUNO CA

Date 9 20 15
Scale 1/4"=1'
Drawn
Job PLAN SUB 1
Sh **AB2**
Of Sheets

APP: 010 021-370