

"The City With a Heart"



Mary Lou Johnson, Chair
Kevin Chase, Vice Chair
Rick Biasotti
Sujendra Mishra
Perry Petersen
Joe Sammut

AGENDA PLANNING COMMISSION MEETING

August 18, 2015

7:00 p.m.

Meeting location: Senior Center, 1555 Crystal Springs Road, San Bruno

Planning Commission meetings are conducted in accordance with Roberts Rules of Order Newly Revised. You may address any agenda item by approaching the microphone until recognized by the Planning Commission Chair. All regular Planning Commission meetings are recorded and televised on CATV Channel 1 and replayed the following Thursday, at 2:00 pm. You may listen to recordings in the Community Development Department. Complete packets are available online at www.sanbruno.ca.gov and at the library. In compliance with the Americans with Disabilities Act, individuals requiring reasonable accommodation for this meeting should notify us 48 hours prior to meeting. Notices, agendas, and records for or otherwise distributed to the public at a meeting of the Planning Commission will be made available in appropriate alternative formats upon request by any person with a disability. Please make all requests to accommodate your disability to the Community Development Department 650-616-7074.

ROLL CALL

PLEDGE OF ALLEGIANCE

1. APPROVAL OF MINUTES: July 21, 2015

2. COMMUNICATIONS

3. PUBLIC COMMENT ON ITEMS NOT ON AGENDA

Individuals allowed three minutes, groups in attendance, five minutes. If you are unable to remain at the meeting, ask the Recording Secretary to request that the Planning Commission consider your comments earlier. It is the Planning Commission's policy to refer matters raised in the forum to staff for investigation and/or action where appropriate. The Brown Act prohibits the Planning Commission from discussing or acting upon any matter not agendaized pursuant to State Law.

4. ANNOUNCEMENT OF CONFLICT OF INTEREST

5. PUBLIC HEARINGS:

A. 1005 Crystal Springs Road (First Baptist Church) (APN: 020-402-010)

Zoning: R-1: Single-Family Residential

Recommended Environmental Determination: Categorical Exemption

Request for a Use Permit to allow the San Mateo Adult School to use the church existing classroom facilities for ESL classes (English as a Second Language) per Section

12.96.060.C.1 of the San Bruno Municipal Code. Larry Teshara, Director, San Mateo Adult School (Applicant) and H. David Clark, Pastor, First Baptist Church of San Bruno (Owner)

UP15-018.

B. 818 Green Avenue (APN: 020-114-210)

Zoning: R-1: Single-Family Residential

Recommended Environmental Determination: Categorical Exemption

Request for Use Permit to allow the construction of a 766 square foot addition to an existing one story 944 square foot single family residence with a 245 square foot garage which will increase the gross floor area of the existing home by greater than 50% (65%), per Sections 12.200.030.B.1, of the San Bruno Municipal Code. Benh and Chi Lama Trust (Applicant and Property Owner) **UP-14-016**.

C. The Crossing Hotel Site (APN: 020-013-250 & 020-013-260)

Zoning: P-D: Visitor Services

Request to adopt Resolution 2015-05 recommending that the San Bruno City Council approve of an Amendment to the U.S. Navy Site And Its Environs Specific Plan related to the Crossing Hotel Site and the associated Supplemental Environmental Impact Report (Supplemental EIR) (SCH #99092026), pursuant to Sections 65450-65457 of the California Government Code (SPA-15-01). Owner: City of San Bruno

6. DISCUSSION

A. CITY STAFF DISCUSSION

- Select the September 10, 2015 Architectural Review Committee members

B. PLANNING COMMISSION DISCUSSION

7. ADJOURNMENT

The next regular Planning Commission Meeting will be held on September 15, 2015 at 7:00 p.m. at the Senior Center, 1555 Crystal Springs Road, San Bruno.



Mary Lou Johnson, *Chair*
Kevin Chase, *Vice Chair*
Rick Biasotti
Sujendra Mishra
Perry Petersen
Joe Sammut

**MINUTES
PLANNING COMMISSION MEETING**

July 21, 2015

7:00 p.m.

Meeting location: Senior Center, 1555 Crystal Springs Road, San Bruno

CALL TO ORDER at 7:02 pm.

ROLL CALL

	<u>Present</u>	<u>Absent</u>
Chair Johnson	X	
Vice Chair Chase	X	
Commissioner Biasotti	X	
Commissioner Mishra	X	
Commissioner Petersen	X	
Commissioner Sammut	X	

STAFF PRESENT:

Planning Division:

Community Development Director: David Woltering
Associate Planner: Matt Neuebaumer
Contract Associate Planner: Paula Bradley
Community Development Technician: Brian Paland

ROLL CALL

PLEDGE OF ALLEGIANCE: Commissioner Sammut

1. APPROVAL OF MINUTES (June 2, 2015) – Biasotti/Mishra

VOTE: 5-0
AYES: Commissioners Chase, Sammut, Biasotti, Petersen, Mishra
NOES: None
ABSTAIN: Johnson

2. COMMUNICATION – None

3. PUBLIC COMMENT – None

4. ANNOUNCEMENT OF CONFLICT OF INTEREST – None

5. PUBLIC HEARINGS:

A. 1580 Greenwood Drive

Request for a Use Permit to allow the construction of a 260 square foot addition, which together with the previously approved addition, will increase the gross floor area of the existing home by greater than 50% (109%), per Sections 12.200.030.B.1, of the San Bruno Municipal Code. Sergio Casanova, (Applicant); Kamal Jamaly, and Ruba Jammali (Owners) UP-15-004.

Contract Associate Planner Bradley: Presented Staff Report.

Staff recommends that the Planning Commission approve Use Permit 15-004 based on Findings 1-6 and Conditions of Approval 1-24. Staff’s recommendations have been incorporated into the project.

Questions for Staff

Vice Chair Chase: Asked if Condition 10 was new language?

Contract Associate Planner Bradley: Condition 10 is the standard indemnity condition.

Commissioner Petersen: Asked if the Commission could have a list of standard conditions. Also wanted clarification of the actual number of conditions for the project.

Contract Associate Planner Bradley: There are 24 conditions.

Opened Public Hearing

Kamal Jamaly/Applicant: The plans calls for an addition of 260 square feet and re-styling of the roof.

Motion to approve Use Permit 15-004 based on Findings 1-6 and Conditions of Approval 1-24.

Commissioner Sammut/Chase

VOTE: 6-0
AYES: All Commissioners present
NOES: None
ABSTAIN: None

Findings

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the home

would be constructed according to the California Building Code (CBC) and, therefore, would not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)

The architectural features of the project are compatible with the surrounding neighborhood. The project meets the setback, and height requirements of the zoning district. The applicant is proposing to construct a 260 square foot second floor addition to an existing 3,025 square foot two-story home, including a 485 square foot two-car garage. The proposed residence meets the setbacks, and height requirements of the zoning district. The front setback is 16'9" where a 15'-0" minimum is required. The rear yard area setback is 61 feet from the property line, where a ten foot minimum is required. The height is 22' 4", where 28' is the maximum height limit. A Use Permit is required to allow the construction of an addition which increases the gross floor area of the existing home by greater than 50%. With the proposed addition, the cumulative proposed floor area will be 109% of the original 1,570 square foot one-story residence. It less than the maximum FAR, 51%, where the maximum allowed is 55%, and the floor area is 3,285 square feet where 3,517 square feet is the maximum allowed.

The front and rear setback areas are 45% landscaped and impervious surface is 55%, where 60% maximum is allowed. The impervious surface area in the front setback (55%) conforms to the required maximum allowable of 60%. Therefore, staff determines that the project would not be detrimental to improvement in the neighborhood or to the general welfare of the City.

3. That the proposed development is consistent with the general plan. (SBMC 12.108.050.B.3)

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the General Plan designation.

General Plan Policy LUD-3 states, "protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale." The proposal would be complementary to other single-family homes in the area. The design of the project reinforces the residential character of the neighborhood.

4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (SBMC 12.108.040.D)

The proposed two-story residence meets the setbacks and height requirements of the zoning district. The existing and the proposed new addition to the second story floor on both the north side and the rear two-story elevation wall planes are stepped back. Specifically, the proposed second story has a 13'-0" left side setback and a 9'-0' rear setback, with a first floor roof separating the two stories. The new addition will not be visible from the front of the property only the sides and rear. The front setback is 16'9" where a 15' minimum setback is required. The rear yard area setback is 61' from the property line, where a ten foot minimum is required. The overall height of the home would increase from 22'-4" which is less than the 28'-0" maximum height limit. Therefore, the structure should not unreasonably restrict or

interfere with light and air on the adjacent properties.

- 5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G)**

The exterior materials and colors will match the existing: a beige color stucco exterior with a medium brown asphalt composition shingle roof which is consistent with the existing home and the immediate neighborhood. The second floor is stepped back from the first floor below. Second floor articulation to decrease the mass and bulk includes stepped-back second story elevations, an offset wall plan on the south side, windows and a new trellis on the south elevation provide additional façade articulation and architectural interest. The front and rear areas are landscaped with 45% landscaped in the front yard setback and impervious surface is 55%, where 60% maximum is allowed. Staff finds that the general appearance of the residence would be in keeping with the neighborhood and would not be detrimental to the City.

- 6. That any proposed single-family or two-family dwelling conforms to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.I)**

Staff finds that the new home conforms to the basic design principles of the Residential Design Guidelines. The proposed residence would respect the scale, bulk, and character of the immediate neighborhood and adjacent homes. Articulation to decrease the mass and bulk on the south elevation includes stepped-back second story elevations, a roof between the first and second floor on the north and rear elevations, a four-foot offset wall on the south side, and a new trellis between the first and second floor, and window.

Also proposed is to construct a new roof with a 4:12 pitch replacing the 3:12 pitch existing roof. The new roof will be a hip form roof replacing the existing gable form roof. Both roof forms exist in the surrounding neighborhood; therefore it is considered to be compatible with the character of the neighborhood. The exterior materials and colors will match the existing – a beige color stucco exterior with a medium brown composition shingle roof.

CONDITIONS OF APPROVAL

Community Development Department

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 15-011 shall not be valid for any purpose. Use Permit 15-011 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit to construct a new 260-square foot addition to the rear of the existing second floor, of an existing 3,025 square foot residence, shall be built according to

plans approved by the Planning Commission on July 21, 2015, labeled Exhibit C except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.

4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The home shall be used only as a single-family residential dwelling unit. No portion of any residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the California Building Code. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning, Building, and Public Services staff to ensure compliance with the conditions of approval during the construction process.
9. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.
10. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.
11. Add: "2013 California Green Building Standards Code to list of Applicable Building Codes on Cover sheet. All Mandatory Measures per Chapter 4 shall apply."

Public Services

12. The front property line is located 2.0 feet behind the sidewalk at 1580 Greenwood Drive. No fences, retaining walls, or other permanent structure shall be placed or constructed within 2.0 feet from the back of sidewalk along 1580 Greenwood Drive. S.B.M.C. 8.08.010.
13. Show on the plans flow line diagrams for cold water lines, hot water lines, gas lines, and sanitary sewer lines to include all existing and proposed systems in accordance with the California Building Code 2013. Show on the plans the location and size of the water meter,

water lateral and sewer lateral.

14. Show on the plans the location of the existing sewer lateral. Also show the existing or new cleanout. Detail SS-02 can be downloaded from the Public Services website at http://www.sanbruno.ca.gov/pw_eng_standards.html. Include this detail in the plans.
15. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02, dated Aug 2011. Older cleanouts not meeting the current city standards shall be replaced. Show on the plans the location of the existing sewer lateral. Also show the existing or new cleanout. Detail SS-02 can be downloaded from the Public Services website at http://www.sanbruno.ca.gov/pw_eng_standards.html. Include this detail in the plans.
16. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property shall be removed and replaced. Remove and replace all damaged and/or broken sidewalk at front of property for all locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010. This requirement shall be added as a note on the plans and also include City Standard Detail ST-04. The detail can be downloaded from the Public Services website at http://www.sanbruno.ca.gov/pw_eng_standards.html.
17. Obtain an Encroachment Permit from Public Works Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit. Show this requirement on the plans and also include it as a note.
18. The building permit submittal shall indicate that address numbers shall be at least four inches in height, of contrasting color to the background and shall be lighted during the hours of darkness. Show this requirement on the plans.
19. Prior to final inspection, paint the address number on face of the curb near the driveway approach with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted. Add this requirement on the plans as a note.
20. An erosion control plan and storm water pollution prevention plan is required. The applicant shall show existing storm drain inlets and other storm water collection locations protected by silt screens or silt fence. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020. Include the attached County of San Mateo's Best Management Practices (BMPs) as part of the construction plans.
21. Show on plans how storm water shall be collected from downspouts and other on-site drainage and drained into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary. This requirement shall be clearly shown on the construction plans. Also include City Standard Detail ST-03 in the construction plans. The detail can be downloaded from the Public Services website at http://www.sanbruno.ca.gov/pw_eng_standards.html.
22. Perform a water demand calculation based on the requirements in Chapter 6 of the California

Plumbing Code to confirm that the existing ¾-inch water meter is sufficient to serve proposed water demand. If existing meter is undersized a new meter is required. Applicant shall pay water and sewer capacity charges based on the size of the water meter installed along with materials and installation of an upgraded water meter. S.B.M.C. 10.14.020/110. Indicate on the plans the location of the existing water meter and the available water pressure at the property.

Fire Department

- 23. Address numbers to be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
- 24. Provide hard-wired smoke detectors with battery backup as required by building code.

B. 428 Elm Street

Request for a Use Permit to allow the construction of a 490 square foot addition, which together with the previously approved addition, will increase the gross floor area of the exiting home by greater than 50% (60%), per Sections 12.200.030.B.1, of the San Bruno Municipal Code. Robert George, FAIA, Architect (Applicant); Regina and Nick Singer (Owners) UP-15-011.

Contract Associate Planner Bradley: Presented Staff Report.

Staff recommends that the Planning Commission approve Use Permit-15-011 based on Findings 1-6 and Conditions of Approval 1 to 27. Staff has no recommendations for project changes.

Questions for Staff

Commissioner Petersen: Asked for clarification on the table on page 3 regarding sideyard setbacks.

Contract Associate Planner Bradley: The Zoning Code requires a 5 foot sideyard setback. The existing condition is a 3 foot sideyard setback.

Commissioner Sammut: Asked why condition 12 was included, as it seems to be a building related item.

Contract Associate Planner Bradley: Confirmed that condition 12 was added from the Building Division review of the plans.

Opened Public Hearing

Nicholas Singer (Owner)/Bob George (Architect): The purpose of the addition is to accommodate their growing family.

Motion to approve Use Permit 15-011 based on Findings 1-6 and Conditions of Approval 1 to 27.

Commissioner Petersen/Mishra

VOTE: 6-0
AYES: All Commissioners present
NOES: None
ABSTAIN: None

Findings

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the home would be constructed according to the California Building Code (CBC) and, therefore, would not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

- 2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)**

The architectural features of the project are compatible with the surrounding neighborhood. The project meets the setback, and height requirements of the zoning district with the exception of the south side and the front setback, which are considered legal nonconforming. It does meet the minimum requirements for the north and rear setbacks, and the height requirements of the zoning district. The applicant proposes to add a 490 square foot addition to an existing 1,598-square foot one-story home, including a 297 square foot one-car garage, which will increase the gross floor area of the existing home by greater than 50% (60%). A Use Permit is required to allow the construction of an addition which increases the gross floor area of the existing home by greater than 50%. The cumulative floor area with the proposed 490 square foot addition will be 60% of the original 1,306 square foot residence (26%) (prior to the 295 square foot addition in constructed in 1990). It remains less than the maximum FAR (at 42%, where the maximum is 55%) and the proposed floor area will be 2,088 square feet where 2,750 square feet is the maximum floor area allowed.

The total impervious surface is 51% where 80% is allowed and 52% of the front yard setback is impervious where 60% maximum is allowed. Therefore, staff determines that the project would not be detrimental to improvement in the neighborhood or to the general welfare of the City. Therefore the project will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the City.

- 3. That the proposed development is consistent with the general plan. (SBMC 12.108.050.B.3)**

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the General Plan designation.

General Plan Policy LUD-3 states, “protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale.” The proposal would be complementary to other single-family homes in the area. The design of the project reinforces the residential character of the neighborhood.

4. **That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (SBMC 12.108.040.D)**

The project meets the setback, and height requirements of the zoning district with the exception of the south side and the front setback, which are considered legal nonconforming. It does meet the minimum requirements for the north and rear setbacks, and the height requirements of the zoning district. The front setback is 12’-5” where fifteen feet is required and the south side setback is 3 feet where five feet is required; however, the applicant is proposing an addition to the north side, which meets the minimum five foot side setback requirement. The rear yard area setback is 32’-3” from the property line, where 10’-0” is required. The height of the new construction will be 16’-4”, where 28’-0” is the height limit. The new roof to the rear addition will be a gable form roof, but won’t be visible from the front of the residence, which has a hip roof form. The previous addition has a similar gable roof form. Both roof forms exist in the surrounding neighborhood; therefore it is considered to be compatible with the existing home and the character of the neighborhood. Therefore, the structure should not unreasonably restrict or interfere with light and air on the adjacent properties.

The proposed addition is well integrated with the existing single-family dwelling and is compatible with the neighborhood, which consists of one-story single-family and two-story modest sized homes with substandard setbacks. Staff finds that the proposed 490 square foot, one-story rear addition is compatible with the character and design of the surrounding single-family dwellings and is consistent with the Residential Design Guidelines.

5. **That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G)**

The exterior materials and colors will match the existing: a taupe color stucco exterior with a dark gray asphalt composition shingle roof. Staff finds that the proposed residence is compatible with the character and design of the surrounding single-family dwellings and is consistent with the Residential Design Guidelines. The proposed addition is well integrated with the existing single-family dwelling and is compatible with the neighborhood. The new roof to the rear addition will be a gable form roof, but won’t be visible from the front of the residence, which has a hip roof form. Both roof forms exist in the surrounding neighborhood; therefore it is considered to be compatible with the existing home. Staff finds that the general appearance of the residence would be in keeping with the neighborhood and would not be detrimental to the City.

6. **That any proposed single-family or two-family dwelling conforms to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.I)**

Staff finds that the proposed 490-square foot, one-story rear addition is compatible with the character and design of the surrounding single-family dwellings and is consistent with the Residential Design Guidelines. The proposed addition is well integrated with the existing single-family dwelling and is compatible with the neighborhood, which consists of one-story single-family and two-story modest sized homes with substandard setbacks. The new roof to the rear addition will be a gable form roof, but won't be visible from the front of the residence, which has a hip roof form. Both roof forms exist in the surrounding neighborhood; therefore it is considered to be compatible with the existing home and the character of the neighborhood.

CONDITIONS OF APPROVAL

Community Development Department

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 15-011 shall not be valid for any purpose. Use Permit 15-011 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit to construct a new 490 square foot addition to an existing 1,598 square foot one-story residence, including a 297 square foot one-car garage, shall be built according to plans approved by the Planning Commission on July 21, 2015, labeled Exhibit C except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The home shall be used only as a single-family residential dwelling unit. No portion of any residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the California Building Code. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.

8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning, Building, and Public Services staff to ensure compliance with the conditions of approval during the construction process.
9. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.
10. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.

Building Division

11. Comply with the 2013 California Codes, including the California Residential Code.
12. Confirm the single hung window at the master bedroom provides a 5.7 square feet net opening with 20" minimum clear width and 24" minimum clear height per CRC R310.

Public Services

13. The front property line is located 3.0 feet behind the sidewalk at 428 Elm Avenue. No fences, retaining walls, or other permanent structure shall be placed or constructed within 3.0 feet from the back of sidewalk along Elm Avenue. S.B.M.C. 8.08.010.
14. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all existing and proposed grading and drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
15. Show on the plans flow line diagrams for cold water lines, hot water lines, gas lines, and sanitary sewer lines to include all existing and proposed systems in accordance with the applicable California Building Code 2013.
16. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02, dated Aug 2011. Older clean outs not meeting current City standards shall be replaced.
17. Planting of one 36-inch box size approved tree or payment to the in-lieu replacement tree fund per most current fee schedule is required. Tree shall be located on 428 Elm Avenue per SBMC 8.24.060. At the current rate, the impact payment required is \$540. A separate tree-planting permit is required from Parks Division for any new street tree.
18. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property shall be removed and replaced. Remove and replace all damaged and/or broken sidewalk at front of property for all locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010.

19. Prior to final inspection, paint the address number on face of the curb near the driveway approach with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted.
20. Obtain an Encroachment Permit from Public Works Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit.
21. An erosion control plan and storm water pollution prevention plan is required. The applicant shall show existing storm drain inlets and other storm water collection locations protected by silt screens or silt fence. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
22. Show on plans how storm water shall be collected from downspouts and other on-site drainage and drained into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary.
23. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for review.
24. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing ¾-inch water meter is sufficient to serve proposed water demand. If existing meter is undersized a new meter is required. Applicant shall pay water and sewer capacity charges based on the size of the water meter installed along with materials and installation of an upgraded water meter. S.B.M.C. 10.14.020/110. Indicate on the plans the location of the existing water meter and the available water pressure at the property.

Fire Department

25. Address numbers to be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
26. Provide hard-wired smoke detectors with battery backup as required by building code.
27. Provide spark arrester for chimney if not currently in place.

C. 1520 Greenwood Way

Request for a Use Permit to allow the construction of an addition which increases the gross floor area of the existing home by greater than 50% (75%) per Section 12.200.030.B.1. Denis and Renee Vorrises (Applicant and Property Owner) UP-14-019.

Associate Planner Neuebauer: Presented Staff Report.

Staff recommends that the Planning Commission approve Use Permit 14-019 with staff recommendations to the Planning Commission based on Findings 1-6, and subject to Conditions of Approval 1-27.

Questions for Staff

Commissioner Sammut: Asked for clarification on the sideyard setback. Staff report appears to indicate 4'-6".

Associate Planner Neuebaumer: The 4'-6" refers to the existing condition. The addition will be at 24'.

Opened Public Hearing

Denis and Renee Vorrises (Owners): The purpose of the addition is to accommodate their growing family. During the design process particular attention was given to maintaining privacy of the neighbors and themselves.

Motion to approve Use Permit 14-019 based on Findings 1-6 and Conditions of Approval 1 to 27.

Commissioner Petersen/Mishra

VOTE: 6-0
AYES: All Commissioners present
NOES: None
ABSTAIN: None

Findings:

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the home would be constructed according to the California Building Code (CBC) and, therefore, would not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

- 2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)**

The applicant is proposing an addition to an existing single-family dwelling. The second story addition incorporates setbacks from the first story below, which provides façade articulation and reduces the mass of the overall structure. The proposal also includes decorative belly band on the rear elevation. The proposed addition incorporates stucco exterior material and composition roofing material, which will match the existing homes appearance. The proposal would benefit the City and the surrounding neighborhood by improving the property in a well-

designed manner. Therefore, staff finds that the project will not be detrimental to improvement in the neighborhood or to the general welfare of the City.

Regarding parking, the proposed 2,260 square feet of living area does not trigger the requirement of a third off-street covered parking spot. Therefore, the current two-car garage is compliant.

3. That the proposed development is consistent with the general plan. (SBMC 12.108.040.H)

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the residential general plan designation.

General Plan Policy LUD-3 states, “protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale.” The proposal will be complementary to other single-family homes in the area. The design of the project reinforces the residential character of the neighborhood.

4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (SBMC 12.108.040.D)

The proposal includes a ground floor addition and a new second story to an existing single-family home. The overall height of the home would increase from 14’-2” to 23’-0”, which is less than the 28’-0” height limit of the R-1 Zone. Additionally, the proposed ground floor addition and proposed second story meets all setback requirements. The second story also includes additional setbacks from the first story below. Specifically, the second story front elevation is setback between 3’-6” – 33’-6” from the first story below. The left side second story is setback 1’-6” from the first story below while the right side second story is setback close to 8’-0” from the first story below. Therefore, the structure should not unreasonably restrict or interfere with light and air on the adjacent properties.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G)

The applicant is incorporating stucco exterior material, which is consistent with the existing home and the immediate neighborhood. The proposal will also contain a matching composition roofing material that matches the look of the existing home and the neighborhood. The applicant has also setback portions of the second floor from the first floor below. The varying setback along all sides provide additional façade articulation and architectural interest. The proposal also includes other architectural details including a decorative belly band on the rear elevation between the ground floor and the second story above. Staff finds that the general appearance of the proposed addition will be in keeping with the character of the neighborhood and will not be detrimental to the City.

6. That any proposed single-family or two-family dwelling conforms to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.1)

Staff finds that the proposed addition conforms to the basic design principles of the Residential Design Guidelines. The proposed addition is respecting the scale, bulk, and character of the immediate neighbors and adjacent homes, as the addition is meeting all setback requirements and is less than the 28'-0" height limit. The addition will also match the stucco exterior material on the existing home. All window and door trim will match throughout the entire home contributing to the architectural integrity of the addition.

Additionally, staff finds that the second story addition utilizes façade articulation techniques found in the Residential Design Guidelines. Specifically, the second story front elevation is setback between 3'-6" – 33'-6" from the first story below. The left side second story is setback 1'-6" from the first story below while the right side second story is setback close to 8'-0" from the first story below. The proposal also includes a decorative belly band on the rear elevation between the ground floor and the second story above. To further comply with the Residential Design Guidelines, the applicant has incorporated two small windows on the left side elevation, removing previous plans calling for use of faux shutters.

CONDITIONS OF APPROVAL

Community Development Department

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 14-019 shall not be valid for any purpose. Use Permit 14-019 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit to construct a new first story addition of 313 square feet and a new second story addition of 837 square feet to an existing single-family home shall be built according to plans approved by the Planning Commission on July 21, 2015, labeled Exhibit C except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.

6. The home shall be used only as a single-family residential dwelling unit. No portion of any residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the California Building Code. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning, Building, and Public Services staff to ensure compliance with the conditions of approval during the construction process.
9. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.
10. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.
11. Add: "2013 California Green Building Standards Code to list of Applicable Building Codes on Cover sheet. All Mandatory Measures per Chapter 4 shall apply."

Public Services

12. The front property line is located 4.5 feet behind the sidewalk at 1520 Greenwood Way. No fences, retaining walls, or other permanent structure shall be placed or constructed within 4.5 feet from the back of sidewalk along Greenwood Way. S.B.M.C. 8.08.010.
13. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all existing and proposed grading and drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
14. Show on the plans flow line diagrams for cold water lines, hot water lines, gas lines, and sanitary sewer lines to include all existing and proposed systems in accordance with the applicable California Building Code 2013.
15. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02, dated Aug 2011. Older clean outs not meeting current City standards shall be replaced.
16. Planting of one 36-inch box size approved tree or payment to the in-lieu replacement tree fund per most current fee schedule is required. Tree shall be located on 1520 Greenwood Way per SBMC 8.24.060. At the current rate, the impact payment required is \$540. A separate tree-

planting permit is required from Parks Division for any new street tree.

17. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property shall be removed and replaced. Remove and replace all damaged and/or broken sidewalk at front of property for all locations where there are any raised or offset concrete sections greater than or equal to $\frac{3}{4}$ -inch. S.B.M.C. 8.12.010.
18. Prior to final inspection, paint the address number on face of the curb near the driveway approach with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted.
19. Obtain an Encroachment Permit from Public Works Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit.
20. An erosion control plan and storm water pollution prevention plan is required. The applicant shall show existing storm drain inlets and other storm water collection locations protected by silt screens or silt fence. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
21. Show on plans how storm water shall be collected from downspouts and other on-site drainage and drained into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary.
22. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for review.
23. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing $\frac{3}{4}$ -inch water meter is sufficient to serve proposed water demand. If existing meter is undersized a new meter is required. Applicant shall pay water and sewer capacity charges based on the size of the water meter installed along with materials and installation of an upgraded water meter. S.B.M.C. 10.14.020/110. Indicate on the plans the location of the existing water meter and the available water pressure at the property.

Fire Department

24. Provide illuminated address numbers on the building.
25. Address numbers to be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
26. Provide hard-wired smoke detectors with battery backup as required by building code.
27. Provide spark arrester for chimney if not currently in place.

D. 680 Acacia Avenue

Request for a Use Permit to allow the construction of a 784 square foot addition which increases the gross floor area of the existing home by greater than 50% (57%), exceeds the 44% lot coverage guideline (45%), and exceeds 1,825 square feet of living area with a one car garage per Sections 12.200.030.B.1, 12.200. 030.B.3, and 12.200.080.A.2 of the San Bruno Municipal Code. Luis A. Robles (Applicant) & Jenelle and Glen Wilson (Owner) UP-15-007

Associate Planner Neuebauer: Presented Staff Report.

Staff recommends that the Planning Commission approve Use Permit 15-007 based on Findings 1-6 and Conditions of Approval 1-26.

Glen Wilson (Owner): He has been a San Bruno lifetime resident, loves the community, and wants to expand to accommodate growing family.

Commissioner Biasotti: Will the siding match all the way around the exterior.

Luis Robles (Architect): There is a notation on page 5 that indicates the siding will match all the way around.

Motion to approve Use Permit 15-007 based on Findings 1-6 and Conditions of Approval 1 to 26.

Commissioner Chase/Mishra

VOTE: 6-0
AYES: All Commissioners present
NOES: None
ABSTAIN: None

Findings:

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the home will be constructed according to the California Building Code (CBC) and, therefore, will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

- 2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)**

The applicant is proposing a ground floor addition to an existing one-story single-family dwelling. The applicant is proposing to utilize exterior materials of horizontal siding that would

match the existing dwelling and the surrounding neighborhood. The proposal will benefit the City and the surrounding neighborhood by improving the property in a well-designed manner. Therefore, staff finds that the project will not be detrimental to improvement in the neighborhood or to the general welfare of the City.

Regarding parking, the applicant has applied for a Use Permit to exceed 1,825 square feet of living area while only providing a one-car garage. The proposed expansion would amount to a total of 1,935 square feet of living area. The distance between the back edge of the sidewalk to the face of the garage measures 21'-0". Therefore, the driveway space can accommodate an additional vehicle without impacting the public right-of-way. Furthermore, the existing garage has the ability to accommodate one vehicle.

3. That the proposed development is consistent with the general plan. (SBMC 12.108.040.H)

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the general plan designation.

General Plan Policy LUD-3 states, "protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale." The proposal will be complementary to other single-family homes in the area. The design of the project reinforces the residential character of the neighborhood.

4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (SBMC 12.108.040.D)

The proposal includes a ground floor addition to an existing one-story single-family dwelling. The overall design and scale of the home is consistent with the neighborhood, which consists of single-family dwellings. The height of the home would be 17'-3" which is less than the 28'-0" height limit of the R-1 zone. The proposed expansion also meets the floor area, and setback requirements of the zoning district, therefore, the structure should not unreasonably restrict or interfere with light and air on the adjacent properties.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G)

The proposal is designed to meet the majority of the development standards in the Municipal Code and Residential Design Guidelines. The addition would utilize horizontal siding and asphalt shingle roofing material, which is consistent with the existing home and the immediate neighborhood. The proposed expansion also meets the floor area, setback, and height requirements of the zoning district. Therefore, staff finds that the general appearance of the proposed addition will be in keeping with the character of the neighborhood and will not be detrimental to the City.

6. That any proposed single-family or two-family dwelling conforms to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.1)

Staff finds that the proposed addition conforms to the basic design principles of the Residential Design Guidelines. The addition is a ground floor addition that continues the simple building form of the existing structure and would also incorporate matching exterior materials of horizontal board siding and asphalt shingle roofing. Finally, there are no proposed changes to the front elevation therefore, the existing architectural character of the neighborhood will not be affected.

CONDITIONS OF APPROVAL

Community Development

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 15-007 shall not be valid for any purpose. Use Permit 15-007 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included on a full size page in the Building Division set of drawings.
3. The request for a Use Permit shall be built according to plans approved by the Planning Commission on July 21, 2015 labeled Exhibit C, except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The residence shall be used only as a single-family residential dwelling unit. No portion of the residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the California Building Code. The residence must have the ability to park the required number of vehicles in the designated garage area. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance.

8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning and Building staff to ensure compliance with the conditions of approval during the construction process.
9. Prior to Final Inspection, the site shall be landscaped according to the plans approved by the Planning Commission on July 21, 2015 and any site landscaping damaged during construction shall be replanted to the satisfaction of the Community Development Director.
10. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.
11. The developer shall indemnify, defend, and hold harmless the city, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the city's consideration and/or approval of the developer's application for development.

Public Services Department

12. If the project results in more than 2,500 square feet of new or replaced impervious surfaces, the applicant shall incorporate one of the required C.3.i site design measures as required by the Municipal Regional Permit at the time of building permit submittal.
13. Please note that the front property line is located 6.5 feet behind the sidewalk along Acacia Avenue. No fences, retaining walls, or other permanent structure shall be placed or constructed within 6.5 feet from back of sidewalk along Acacia Avenue. S.B.M.C. 8.08.010.
14. The Applicant shall provide flow line diagrams for cold water lines, hot water lines, gas lines, and sanitary sewer lines to include all existing and proposed systems in accordance with the applicable California Building Code 2013.
15. An Encroachment Permit from Public Services Department is required prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit.
16. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property shall be removed and replaced. Remove and replace all damaged and/or broken sidewalk at front of property for all location where there are any raised or offset concrete sections greater than or equal to 3/4 -inch. S.B.M.C. 8.12.010.
17. Planting of one 36-inch box size approved tree or payment to the in-lieu replacement tree fund per most current fee schedule is required. Tree shall be located on Acacia Avenue per S.B.M.C. 8.24.060. At the current rate, the impact payment required is \$540. A separate tree-planting permit is required from Parks and Recreation Services for any new street tree.
18. If not present, the applicant shall install a sanitary sewer lateral clean-out at property line per City standards detail SS-02 dated August 2011. Older clean outs not meeting current city standards shall be replaced.

19. Prior to final inspection, paint address number on face of curb near driveway approach. Lettering shall be black, 4 inches or larger, and painted on a white background. Indicate the location of the address numbers on the site plan.
20. An Erosion control plan and storm water pollution prevention plan is required. The plan must show existing storm drain inlets and other storm water collection locations protected by silt screens or silt fence. Work shall conform to the current NPDES requirements. S.B. Municipal Code 12.16.020.
21. Storm water from downspouts and other on-site drainage shall be drained into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicated any pipes, swales, or applicable ground percolation treatments as necessary.
22. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all existing and proposed grading and drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.MC. 12.16.020
23. Perform water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing water meter is sufficient to serve proposed water demand. If existing meter is undersized, a larger meter is required. Applicant shall pay water and sewer capacity charges based on the size of the water meter installed along with materials and installation of an upgraded water meter and lateral. S.B.M.C. 10.14.020/110. Indicate on the plans the location of the existing water meter and the available water pressure at the property.

Fire Department

24. Address numbers to be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
25. Provide hard-wired smoke detectors with battery backup as required by building code.
26. Provide spark arrester for chimney if not currently in place.

6. DISCUSSION

A. CITY STAFF DISCUSSION:

Volunteers for the Thursday, August 13, 2015 ARC meeting: Commissioner Biasotti, Chase, and Johnson identified.

Director Woltering: Provided update on Cinema/Plaza project. Demolition began on July 16. Currently debris is being removed. Occupancy is expected in 2017.

Commissioner Petersen: Asked if the new foundation drilled piers of foundation piles.

Director Woltering: He does not have specifics on the type of foundation.

Director Woltering: Described his experience visiting San Bruno's Sister City, Narita, Japan. The group included 10 students from Parkside Middle School.

Chair Johnson: Happy to hear about the City's involvement.

Commissioner Petersen: Happy to hear that students had a positive experience.

B. PLANNING COMMISSION DISCUSSION:

None

7. ADJOURNMENT

Meeting was adjourned at 7:45 pm

David Woltering
Secretary to the Planning Commission
City of San Bruno

Mary Lou Johnson, Chair
Planning Commission
City of San Bruno

NEXT MEETING: August 18, 2015



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STAFF

David Woltering, AICP, *Community Development Director*
 Mark Sullivan, AICP, *Long Range Planning Manager*
 Matt Neuebaumer, *Associate Planner*
 Brian Millar, AICP, *Contract Senior Planner*
 Paula Bradley, AICP, *Contract Associate Planner*
 Marc Zafferano, *City Attorney*

PLANNING COMMISSION

Mary Lou Johnson, *Chair*
 Kevin Chase, *Vice Chair*
 Rick Biasotti
 Sujendra Mishra
 Perry Petersen
 Joe Sammut

**PLANNING COMMISSION
 STAFF REPORT
 AGENDA ITEM NO. 5A
 August 18, 2015**

PROJECT LOCATION

1. Address: 1005 Crystal Springs Road
2. Assessor's Parcel Nos: 020-402-010 and 020-402-330
3. Zoning District: R-1 (Single-Family Residential)
4. General Plan Classification: Low-Density Residential

EXHIBITS

- A:** Site Location
B: Photographs
C: Applicant's Operations Statement

REQUEST

Request for a Use Permit to allow two San Mateo Adult Education classes to use the existing church facilities at 1005 Crystal Springs Road, per Sections 12.96.060.C.1, of the San Bruno Municipal Code. Larry Teshara, San Mateo Adult School (Applicant) and Pastor Dave Clark, First Baptist Church of San Bruno (Property Owner) **UP-15-018**.

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit 15-018 based on Findings 1-3 and Conditions of Approval 1-7.

REVIEWING AGENCIES

Community Development Department
 Public Services Department
 Fire Department
 Police Department

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on August 7, 2015.
2. Advertisement published in the San Mateo Daily Journal, Saturday, August 8, 2015.

ENVIRONMENTAL ASSESSMENT

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301.e: Existing Facilities.

EXISTING CONDITIONS

The subject property is located at 1005 Crystal Springs Road between Cypress and Acacia Avenues includes both corners of the northern end of the block, and is a generally flat rectangular lot. The church was constructed in 1957 and is located in the San Bruno Park 1st Addition Subdivision. The church parcel is approximately 15,000 square feet. It is located in a residential district surrounded by one- and two-story single-family dwellings on three sides, the City corporation yard and a City park to the west. The property is currently developed with a church and associated offices, classrooms, nursery, gym and hall, kitchen, library, and storage rooms. The church owns a 17-space parking lot on a second parcel (020-402-330) adjacent to the parcel (020-402-010) where the church facilities are located.

ADDITIONAL INFORMATION

- **Accessory Structures:** None
- **Code Enforcement:** There are no active Code Enforcement cases.
- **Easements:** There is a twelve-foot wide easement on the subject property.
- **Heritage Trees:** There are no heritage trees located on-site.
- **Previous additions or alterations:** None

SURROUNDING LAND USES

North: Clark Avenue – R-1 (Single Family Residential)
South: San Felipe Avenue – R-1 (Single Family Residential)
East: Elm Avenue – R-1 (Single Family Residential)
West: City Corporation Yard and City Park – O (Open Space)

PROJECT DESCRIPTION

The applicant has requested to use the church facilities at 1005 Crystal Springs Road for two classes in the existing classrooms. The San Mateo Adult Education has proposed two ESL classes with up to 25 students each from 8:45 to 12:00 p.m., Monday through Friday, in addition to ongoing classes and activities conducted by the church throughout the week. The ESL classes were previously held at Saint Bruno's Church on San Bruno Avenue West, but the school is no longer able to use that facility. The Planning Division has determined that this use requires the approval of a conditional use permit. The proposed classroom use is consistent with the historic and ongoing use of the property, which is considered legal nonconforming, in that the use is allowed but current zoning would require the approval of a use permit. The church existed prior to the requirement of a use permit. Historically the church has provided ongoing church services, activities, classes, and events for the community. There are no changes proposed to the exterior or interior of the structure.

PUBLIC COMMENT

In response to the legal notice to all property owners within 300' of the subject site, staff received two phone calls. Both were neighbors, who were concerned that the use would increase the traffic on Crystal Springs Road and the demand for on-street parking in the neighborhood. To address these concerns, condition of approval no. 4 would be incorporated into the project to restrict parking to the on-site parking lot to address the parking concerns. Additionally, condition of approval no. 3 would restrict any other classes or activities on the church site during the ESL class hours. The students enrolled in ESL classes

typically do not arrive in their own vehicle, but primarily walk, or arrive by public transit or are dropped off by family members; therefore, the 17-space parking lot is considered adequate for the parking demand for this specific use.

ANALYSIS AND RECOMMENDATION

Analysis:

There is an adjoining existing 17-space parking lot for on-site parking owned by the church. Circulation is one-way: vehicles enter from Cypress Avenue and exit on Acacia Avenue. The students enrolled in ESL classes typically do not arrive in their own individual vehicle. Based on San Mateo Adult School surveys, students arrive primarily by walking, take public transit or are dropped off by family members; therefore, the 17-space parking lot is considered adequate for the parking demand for this specific use. For the last fifteen years this use was located at Saint Bruno's Church, and based on the school staff observations, approximately 10 parking spaces were used for the classes. There is no zoning code parking requirement (Section 12.100.090) that fits this proposed use. Parking for trade schools, business colleges and commercial schools is one space for each faculty and one space for each 1.5 students of the maximum capacity of the classroom. Parking for colleges is not specified. For senior high school, one space is required for each faculty and one space for each three students, the use could be considered to meet this parking requirement. Based on maximum occupancy of 48, 18 parking spaces would be required for 46 students and two faculty. By limiting the number of students to 45 students (instead of 46), 17 spaces would be required, the project meets the parking requirement. Condition of approval no. 4 would require that students and employees associated with the classroom use shall park in the existing Church parking lot.

In lieu of the standard submittal of a site plan, floor plan and elevations, the existing facilities and classroom use are documented with a staff walk-through photo documentation, attached to this staff report. Classroom no. 1 is accessed from the Cypress Avenue and Crystal Springs Road entrance. Classroom no. 2 can be accessed from this same entrance or via an exterior door to Acacia Avenue, the same entrance as for the church office. Classroom no. 1 is approximately 400 square feet and classroom no. 2 is approximately 576 square feet. The Fire Department Code restricts the maximum occupancy: for classroom no. 1 to 20 occupants and for classroom no. 2 to 28 occupants, a maximum of 48 students and teachers total. This maximum occupancy has been incorporated as a condition of approval.

Findings:

*Pursuant to the City's Municipal Code, the Commission shall grant the Use Permit if it makes the following findings. Required findings are in **bold** followed by staff's analysis of the merits of the project and how the findings can be made.*

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

The proposed classes will utilize existing facilities at the church and the use is consistent with the historic and ongoing uses allowed at the church without a use permit. There will be no expansion of the church buildings, facilities or grounds. There are no changes proposed to the exterior or interior of any structure that would require a building permit. A condition of approval restricts the maximum occupancy: for classroom no. 1 to 20 occupants and for classroom no. 2 to 28 occupants, a maximum 48 occupants. Operational hours are limited to those outlined in the project application: weekdays between the hours of

Condition no. 7 requires an approved exit plan to meet the fire code requirements prior to occupancy. Therefore, the proposed use, as conditioned, will not be detrimental to the health, safety, morals, comfort and general welfare of persons residing or working in the neighborhood.

2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)

The proposed classes will utilize existing facilities at the church and no expansion of the facilities or grounds is proposed. There is a separate existing 17-space parking lot (APN: 020-402-330) for on-site parking, owned by the church for this use. A condition of approval will require that students and employees associated with the classroom use, park in the existing church parking lot. Existing City services for water, wastewater and storm drainage will continue to be used. Therefore, staff determines that as conditioned, the project will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the City.

3. That the proposed development is consistent with the San Bruno General Plan. (SBMC 12.108.050.B.3)

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing church and classroom use is consistent with the General Plan designation. The proposed classes will utilize existing facilities at the church consistent with the historic and ongoing uses, and no expansion of the facilities or grounds is proposed.

Recommendation

Staff recommends that the Planning Commission approve Use Permit 15-018, based on Findings 1-3 and Conditions of Approval 1- 7:

CONDITIONS OF APPROVAL

Community Development Department

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval or prior to occupancy whichever occurs first. Until such time as the Summary is filed, Use Permit 15-018 shall not be valid for any purpose.
2. The request for a Use Permit to allow two San Mateo Adult Education classes to use the existing church facilities at 1005 Crystal Springs Road, shall operate according to the applicant's operations statement, dated July 24, 2015, labeled Exhibit C, and as approved by the Planning Commission on August 18, 2015, except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
3. Operational hours shall be limited to those outlined in the project application: weekdays between the hours of 8:45 a.m. and 12:00 p.m. No other classes or activities shall be allowed on the site during these hours.
4. Students and employee parking shall be allowed only in the church parking lot, there shall be no on street parking. The maximum number of students shall be 45 (plus two faculty), to be

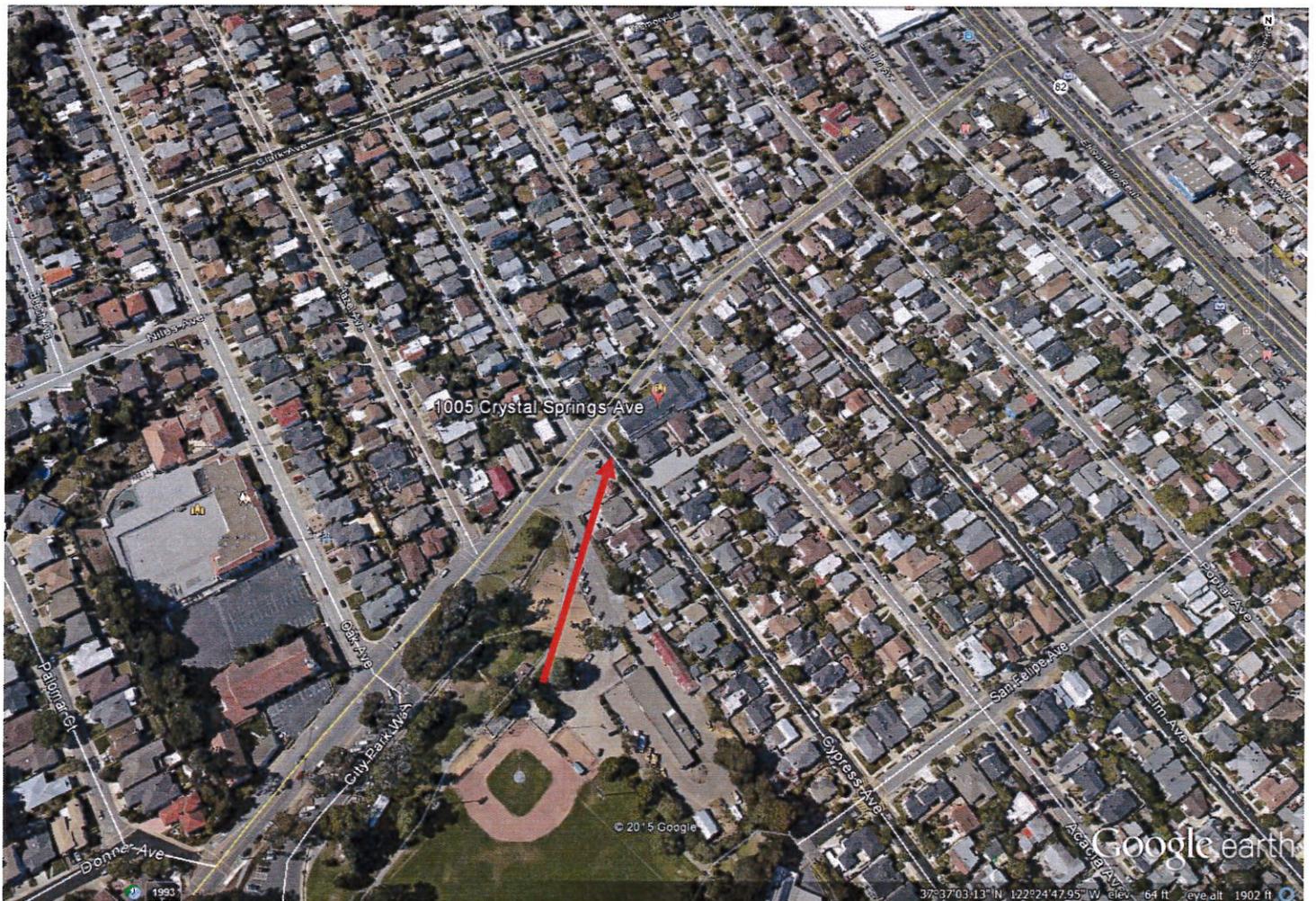
5. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.

Fire Department

6. Based upon the square footage provided in the application, for classroom no. 2 (576 square feet), the maximum occupancy shall be 28 people, and for classroom no. 1 (400 square feet), the maximum occupancy shall be 20 people, based upon 20 net formula. (CBC Table 1004.1.1).
7. Provide classroom layouts with exit travel and door placement for emergency egress for the Fire Marshall's review and approval prior to occupancy.

Date of Preparation: August 13, 2015
Prepared by: Paula Bradley, MCP, AICP, Contract Associate Planner

Exhibit A: Site Location



**1005 Crystal Springs Road
020-402-010 and 020-402-330
UP-15-018**

Exhibit B: Photographs - Subject site



Entry off Acacia Avenue to offices and larger classroom #2 (on right with bay windows)



View from Crystal Springs Road to south, Classroom #2 to left, church behind tree classroom # 1 to the far right



View from Crystal Springs of Church and Classroom #1 to far right



Subject Site: view from Cypress Avenue to east. Entry on left side, library center, kitchen on right with exterior door on right side of building



Entry from Crystal Springs and Cypress, arrow to restroom (1 of 3), door to library far left



Entry from Cypress and Crystal Springs, entry through the gym to classroom #1 on right



Gym and hall, entry far left, Classroom #1 (two middle doors), door to right –nursery, restroom #2 in corner next to stage



View to east - parking lot -entry from Cypress Avenue



Parking lot exit on Acacia



Corner Crystal Springs & Cypress Avenue, view to southwest



Classroom #1



Classroom #2

First Baptist Church
1005 Crystal Springs Road, San Bruno
Operations Statement
7/24/15

Applicant: Larry Teshara, Director San Mateo Adult School
650-558-2100, lteshara@smace.org
789 E. Poplar Avenue, San Mateo 94401

San Mateo Adult School is a public school which is funded primarily by the state of California under the Adult Education Block Grant. The mission of the school is to provide educational opportunities for adults who lack basic academic skills. The two levels of English as a Second Language class offerings at the First Baptist Church would be for immigrants who are new to the United States and who have low levels of reading, writing, and oral communication skills in English. Classes also provide instruction in the culture of the United States and basic civics knowledge.

These classes were previously held at the St. Bruno Church, approximately one mile from the First Baptist, but the Adult School no longer has access to this site. The hope is to maintain a school site in the San Bruno area that is near the main transportation route and not far from where many of the potential students live.

Hours and Days of Operation:

The classes are held Monday through Friday from 8:45 – 12:00, forty four weeks a year. There are three terms a year. This coming year the classes will be held August 25 – December 11, January 5 – April 22 and April 26 – July 22. There is a four week break in summer, a three week break in the winter holiday time and a one week spring break which in 2016 will be the last week in March.

Number of students onsite:

The number of students varies depending on a number of factors. Many of the students are mothers of young children and they are often not able to attend class when the K-12 school system isn't in session. Other students work or are looking for work and they may need to change their schedules depending on availability of work. Typically the classes are largest in the early Fall when K-12 children are in school. In September and October the total number of students in the two classes ranged from 35 to a high of 43 students. In December the classes were smaller with totals of 28 – 34. In the summer the classes had a total of 20 – 30 students.

Number and type of employees onsite:

There are two credentialed teachers at the site.

EXHIBIT C

Location where the students and teachers park:

While both teachers drive everyday, the majority of students do not. Most students are low income and either do not own a car or if there is a car in the household it is usually used by another family member to go to work. Most students come by bus or walk. On a day when there are 30 students in school, there are usually about 6 students cars in addition to the teachers' two. The First Baptist Church has a parking lot with 17 spaces which should be adequate on most days.

Typical school day activities:

Instruction is provided in a traditional classroom style with a teacher leading and the students seated at tables and chairs. Lessons focus on acquiring life skills and everyday English vocabulary so students can accomplish tasks such as shopping, talking to children's teachers, taking a bus or filling out job applications. Sessions are organized so that students can learn the vocabulary and then practice within the classroom setting. Classes are held for three hours with a 15 minute break at 10:30. Occasionally one or both classes go on a field trip to somewhere within walking distance, for example the local library, so the students can see local resources and practice English in an authentic setting as a step to becoming full members of the local community.

New students can begin at any time. When they arrive they are given a placement exam to see whether they will enter the Beginning level or the Intermediate level class. At the end of each term students' proficiency level is tested and they may be promoted to the next level. Students who test out of the upper level are counseled to go to the main campus in San Mateo where there are higher level classes.



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Marc Zafferano, *City Attorney*

PLANNING COMMISSION

Mary Lou Johnson, *Chair*
Kevin Chase, *Vice Chair*
Rick Biasotti
Sujendra Mishra
Perry Petersen
Joe Sammut

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. 5B
August 18, 2015**

PROJECT LOCATION

1. Address: 818 Green Avenue
2. Assessor's Parcel No: 020-114-210
3. Zoning District: R-1 (Single-Family Residential)
4. General Plan Classification: Low Density Residential

EXHIBITS

- A:** Site Location
B: Photographs
C: Site Plan, Floor Plans, and Elevations
D: Green Building Statement/Checklist

REQUEST

Request for Architectural Review to allow the construction of a 766 square foot addition to an existing one-story 944 square foot, single family residence, with a 245 square foot garage, which will increase the gross floor area of the existing home by greater than 50% (55%), per Sections 12.200.030.B.1, of the San Bruno Municipal Code. Benh and Chi Lama Trust (Applicant and Property Owner) **UP-14-016**.

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit 14-016 based on Findings of Fact 1-6 and Conditions of Approval 1-28.

REVIEWING AGENCIES

Community Development Department
Public Services Department
Fire Department

ARCHITECTURAL REVIEW COMMITTEE

The Architectural Review Committee reviewed this project at its July 16, 2015 meeting. The Architectural Review Committee forwarded the project to the Planning Commission with no added recommendations. Staff's recommendations have been incorporated into the project plans.

LEGAL NOTICE

1. Notices of public hearing mailed to owners of property within 300 feet on August 7, 2015.
2. Advertisement published in the San Mateo Daily Journal, Saturday, August 8, 2015.

ENVIRONMENTAL ASSESSMENT

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301.e: Existing Facilities.

EXISTING CONDITIONS

The subject property is located on Green Street and is a rectangular shaped lot with a total size of approximately 5,000 square feet. The home was constructed in 1941 and is located in the San Bruno Park 1st Addition Subdivision. It is located between San Bruno and Euclid Avenues in a residential district surrounded by other one- and two-story single-family dwellings. The property is currently developed with a one-story single-family dwelling consisting of 944 square feet of living space which includes two bedrooms, one bathroom, a living room, dining room, family room, kitchen, plus an attached 245 square foot one-car garage. An illegal 315 square foot attached living area located in the rear, and a 34 square foot attached utility room located in the right side encroaches into the side setback, will be demolished. The unpermitted areas are not included in the existing floor area or lot coverage calculations.

ADDITIONAL INFORMATION

- **Accessory Structures:** A 142 square foot detached accessory structure is located in the rear yard. The 34 square foot attached utility room in the right side setback will be demolished.
- **Code Enforcement:** There are no active Code Enforcement cases.
- **Easements:** There are no easements on the subject property.
- **Heritage Trees:** There are no heritage trees located on-site.
- **Previous additions or alterations:** There have been no previous additions or alterations to the subject property.

SURROUNDING LAND USES

North: Euclid Avenue – R-1 (Single Family Residential)
South: San Bruno Avenue – C-1 (General Commercial)
East: Easton Avenue – R-1 (Single Family Residential)
West: Hensley Avenue – R-1 (Single Family Residential)

PROJECT DESCRIPTION

The applicant is proposing to construct a 766 square foot addition to an existing one story 1,331 square foot single family residence, including a 245 square foot garage and a 142 square foot shed, which will increase the gross floor area of the existing home by greater than 50% (55%). The addition and would include two new bedrooms and two new bathrooms. The proposed addition includes exterior materials that match the existing home, including stucco on the elevations and matching composition roofing material. With the approval of this Use Permit for a 766 square foot addition to the rear of the existing residence, the proposed new total floor area will be 2,097 square feet.

Project details are shown in the following table:

SITE CONDITIONS		ZONING REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS
Land Use		R-1	R-1	same
Lot Area		5,000 s.f.	5,000 s.f.	same
Lot Coverage		2,750 s.f. (55%)	1,373 s.f. (27%)	2,139 (42%)
Gross Floor Area		2,750 s.f (maximum)	1,331 s.f.	2,097 s.f.
Floor Area Ratio		0.55	0.27	0.42
Building Setbacks (minimum)	Front	15'-0"	15'-0"	same
	Rear	10'-0"	52'-0"	same
	R Side	5'	8'-4"	same
	L Side	5'-0"	5'-4"	same
Building Height		28'-0" (maximum)	15'-6"	same"
Covered Parking		1 space	1 space	same

Notes:

- Use Permit required for an expansion or addition which increases the gross floor area of the existing home by greater than 50%.
- Lot coverage and floor area above include the 245 s.f. garage and the 142 s.f. shed

Square Footage Breakdown:

	Ground floor	Second Floor	Garage	Total
Existing	944	-	245	1,189
Proposed	766	-	-	766
Total	1,710	-	245	1,955

Notes:

- 1,955 s.f. living area proposed, with a 245 s.f. one-car garage
- The 315 s.f. unpermitted living area and the 34 s.f. utility room are not included in the existing floor area or lot coverage calculations.

ANALYSIS AND RECOMMENDATION

Analysis:

The applicant is proposing to construct a 766 square foot rear addition to an existing one story 1,331 square foot, single family residence, including a 245 square foot garage, and a 142 square foot accessory building, which will increase the gross floor area of the existing home by greater than 50% (55%). A Use Permit is required to allow the construction of an addition which increases the gross floor area of the existing home by greater than 50%. The cumulative floor area with the proposed 766 square foot addition will be 55% of the original 1,331 square foot residence (27%). It remains less than the maximum FAR (42%), where the maximum is 55%, and the proposed floor area will be 2,097-square feet where 2,750-square feet is the maximum allowable floor area. The proposed expansion meets the floor area, lot coverage, set back, parking, and height requirements of the zoning district.

The new addition will not be visible from the front of the property, only from the sides and rear. The exterior materials and colors will match the existing: a beige-pink color stucco exterior with a dark-gray asphalt composition shingle roof. All existing and proposed windows are white vinyl. One by four inch white painted redwood trim will surround the windows on the sides and rear. Two similar additional windows will be added to north and south elevations and two new sliders and a matching window will be added to the rear elevation. The proposed addition is well integrated with the existing single-family dwelling and is compatible with the neighborhood, which consists of one-story single-family and two-story modest sized homes with substandard setbacks. Staff finds that the proposed residence is compatible with the character and design of the surrounding single-family dwellings and is consistent with the Residential Design Guidelines.

Findings:

*Pursuant to the City's Municipal Code, the Commission shall grant the Use Permit if it makes the following findings. Required findings are in **bold** followed by staff's analysis of the merits of the project and how the findings can be made.*

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the home would be constructed according to the California Building Code (CBC) and, therefore, would not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

- 2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)**

The architectural features of the project are compatible with the surrounding neighborhood. The project meets the setback, and height requirements of the zoning district. The applicant proposes to add a 766 square foot rear addition to an existing one story 1,189 square foot single family residence, including a 245-square foot garage which will increase the gross floor area of the existing home by greater than 50% (55%). A Use Permit is required to allow the construction of an addition which increases the gross floor area of the existing home by greater than 50%. The cumulative floor area with the proposed 766 square foot addition will be 55% of the original 1,331 square foot residence (27%). It remains less than the maximum FAR (42%), where the maximum is 55% and the proposed floor area will be 2,097 square feet where 2,750 square feet is the maximum allowable floor area.

The existing impervious area exceeds 60% of the front setback area and the applicant will remove the impervious surface (concrete) so that it meets the zoning requirements. The total impervious surface is on the site is proposed to be 56% where 80% is allowed, and 40% of the front yard setback is impervious where 60% maximum is allowed. Therefore, staff determines that the project would not be detrimental to improvement in the neighborhood or to the general welfare of the City. Therefore the project will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the City.

3. That the proposed development is consistent with the San Bruno General Plan. (SBMC 12.108.050.B.3)

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the General Plan designation.

General Plan Policy LUD-3 states, "protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale." The proposal would be complementary to other single-family homes in the area. The design of the project reinforces the residential character of the neighborhood.

4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (12.108.040.D).

The proposal includes a 766 square foot ground floor addition to an existing one-story, single-family dwelling. The overall design and scale of the home is consistent with the neighborhood, which consists of one-story and two-story single-family dwellings. The height of the home would remain 15'-6" which is less than the 28'-0" height limit of the R-1 zone. The proposed expansion also meets the floor area, lot coverage, and setback requirements of the zoning district, therefore, the structure would not unreasonably restrict or interfere with light and air on the adjacent properties.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G).

The addition would utilize exterior materials including stucco, and composition asphalt roofing material, which is consistent with the existing home and the immediate neighborhood. Windows will be matching vinyl with one by four inch white painted redwood trim on the sides and rear. The overall design and scale of the home is consistent with the neighborhood, which consists of one-story single-family dwellings. The proposed expansion also meets the floor area, lot coverage, setback, and height requirements of the zoning district therefore, staff finds that the general appearance of the proposed addition will be in keeping with the character of the neighborhood and will not be detrimental to the City.

6. That any proposed single-family or two-family dwelling conform to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.I).

Staff finds that the proposed addition conforms to the basic design principles of the Residential Design Guidelines. The addition is a ground floor addition that continues the simple building form of the existing structure and would also incorporate matching exterior materials of stucco, and composition roofing material.

Recommendation

Staff recommends that the Planning Commission approve Use Permit 14-016 based on Findings of Fact 1-6 conditions of approval 1- 28:

CONDITIONS OF APPROVAL

Community Development Department

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 15-011 shall not be valid for any purpose. Use Permit 15-011 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit to construct a new 490-square foot addition to an existing 1,598 square foot one-story residence, including a 297 square foot one-car garage, shall be built according to plans approved by the Planning Commission on July 21, 2015, labeled Exhibit C except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The home shall be used only as a single-family residential dwelling unit. No portion of any residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the California Building Code. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning, Building, and Public Services staff to ensure compliance with the conditions of approval during the construction process.
9. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.

10. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application for development.

Building Division

11. Comply with the 2013 California Codes, including the California Residential Code.
12. Plan shows existing gable roof slopes toward new exterior wall of addition. An evaluation of this condition is recommended. Clearly show a cricket design to shed storm water away from new wall or tie new roof to existing roof via California connection.
13. Obtain a building permit for the 142 square foot shed in the rear yard.

Public Services

14. The front property line is located 2.0 feet behind the sidewalk at 818 Green Avenue. No fences, retaining walls, or other permanent structure shall be placed or constructed within 2.0 feet from the back of sidewalk along Elm Avenue. S.B.M.C. 8.08.010.
15. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all existing and proposed grading and drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
16. Show on the plans flow line diagrams for cold water lines, hot water lines, gas lines, and sanitary sewer lines to include all existing and proposed systems in accordance with the applicable California Building Code 2013.
17. If not present, the applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02, dated Aug 2011. Older clean outs not meeting current City standards shall be replaced.
18. Planting of one 36-inch box size approved tree or payment to the in-lieu replacement tree fund per most current fee schedule is required. Tree shall be located on 428 Elm Avenue per SBMC 8.24.060. At the current rate, the impact payment required is \$540. A separate tree-planting permit is required from Parks Division for any new street tree.
19. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property shall be removed and replaced. Remove and replace all damaged and/or broken sidewalk at front of property for all locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010.
20. Prior to final inspection, paint the address number on face of the curb near the driveway approach with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted.
21. Obtain an Encroachment Permit from Public Works Department prior to commencing any work

within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit.

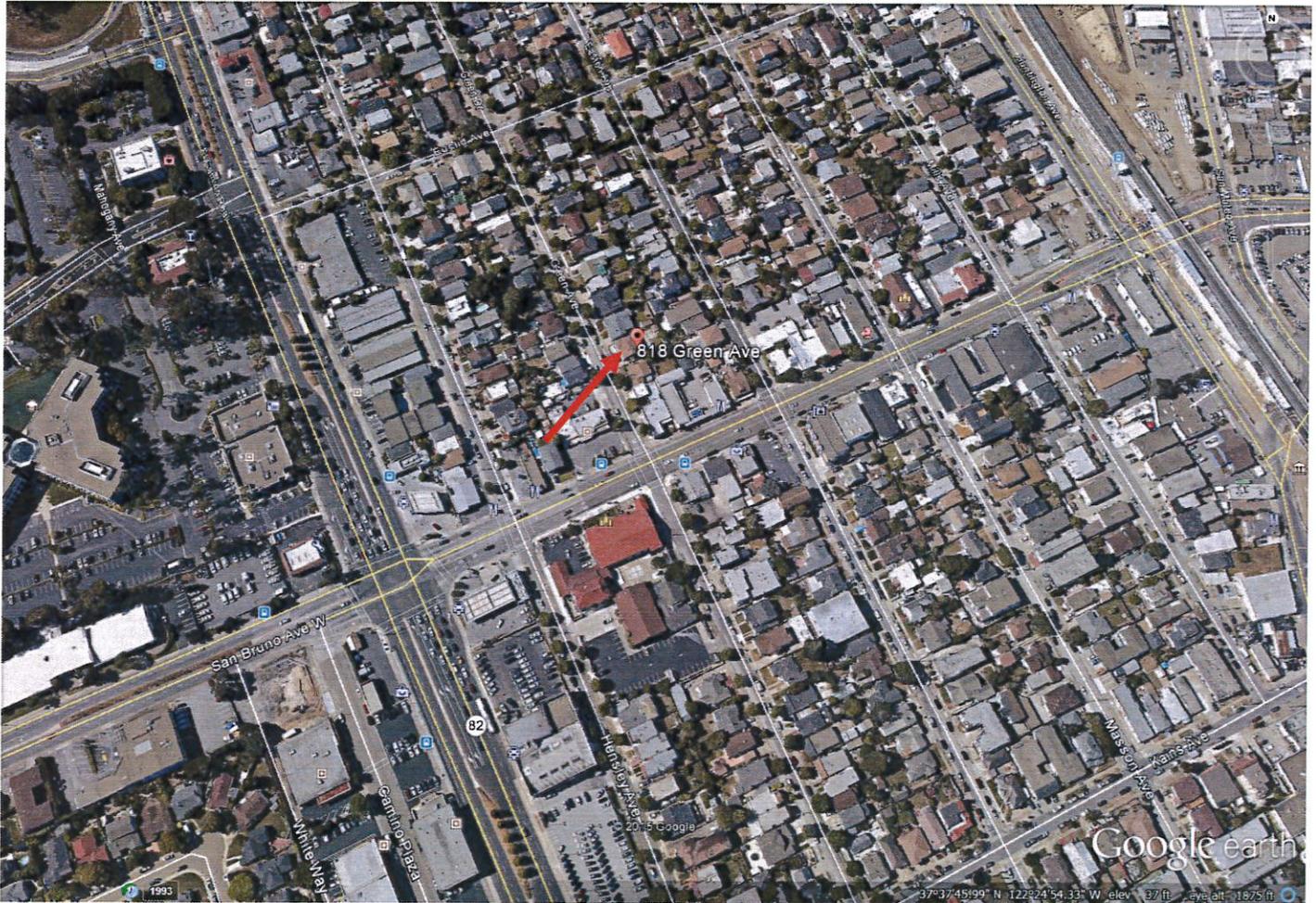
22. An erosion control plan and storm water pollution prevention plan is required. The applicant shall show existing storm drain inlets and other storm water collection locations protected by silt screens or silt fence. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
23. Show on plans how storm water shall be collected from downspouts and other on-site drainage and drained into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary.
24. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for review.
25. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code to confirm that the existing ¾-inch water meter is sufficient to serve proposed water demand. If existing meter is undersized a new meter is required. Applicant shall pay water and sewer capacity charges based on the size of the water meter installed along with materials and installation of an upgraded water meter. S.B.M.C. 10.14.020/110. Indicate on the plans the location of the existing water meter and the available water pressure at the property.

Fire Department

26. Address numbers to be at least four (4) inches in height, of a contrasting color to the background, and must be lighted during the hours of darkness.
27. Provide hard-wired smoke detectors with battery backup as required by building code.
28. Provide spark arrester for chimney if not currently in place.

Date of Preparation: August 12, 2015
Prepared by: Paula Bradley, MCP, AICP, Contract Associate Planner

Exhibit A: Site Location



**818 Green Avenue
020-114-210
UP-14-016**

Exhibit B: Subject Site



Subject Site

Exhibit B: Photographs



Adjacent property to north

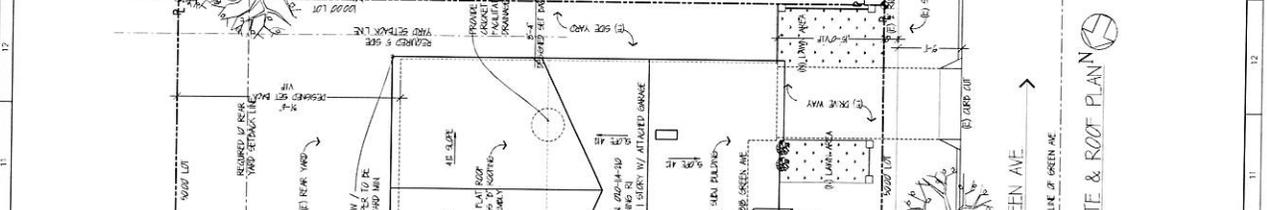


Adjacent property to the south

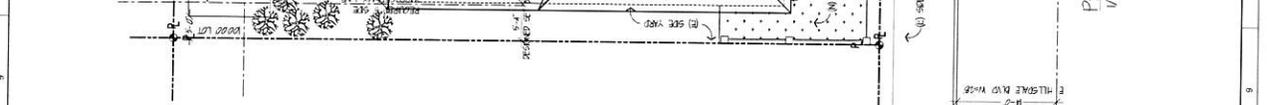
DESIGN ASSUMPTIONS:
 1. EXISTING GRADE FROM THE SUBDIVISION SHALL BE USED UNLESS OTHERWISE NOTED.
 2. ALL NEW CONSTRUCTION SHALL BE 4 FEET AWAY FROM THE FRONT YARD SETBACK LINE.
 3. ALL NEW CONSTRUCTION SHALL BE 5 FEET AWAY FROM THE SIDE AND REAR YARD SETBACK LINES.
 4. ALL NEW CONSTRUCTION SHALL BE 10 FEET AWAY FROM THE REAR YARD SETBACK LINE.
 5. ALL NEW CONSTRUCTION SHALL BE 10 FEET AWAY FROM THE REAR YARD SETBACK LINE.
 6. ALL NEW CONSTRUCTION SHALL BE 10 FEET AWAY FROM THE REAR YARD SETBACK LINE.
 7. ALL NEW CONSTRUCTION SHALL BE 10 FEET AWAY FROM THE REAR YARD SETBACK LINE.
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 9. ALL NEW CONSTRUCTION SHALL BE 10 FEET AWAY FROM THE REAR YARD SETBACK LINE.
 10. ALL NEW CONSTRUCTION SHALL BE 10 FEET AWAY FROM THE REAR YARD SETBACK LINE.



EXISTING SITE & ROOF PLAN
 1/16/10



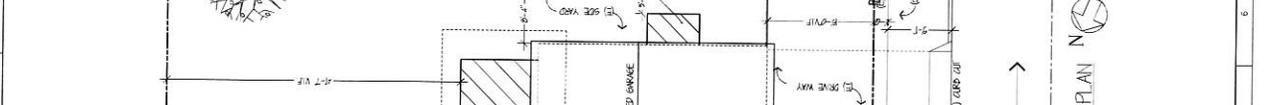
PROPOSED SITE & ROOF PLAN
 1/16/10



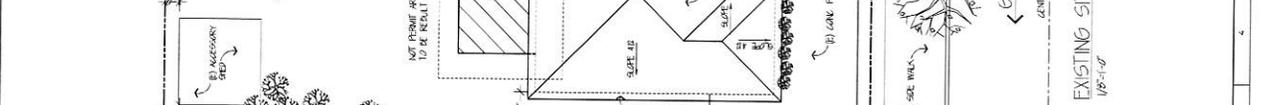
PROPOSED SITE & ROOF PLAN
 1/16/10



PROPOSED SITE & ROOF PLAN
 1/16/10



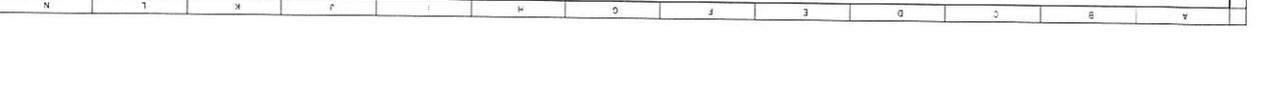
PROPOSED SITE & ROOF PLAN
 1/16/10



PROPOSED SITE & ROOF PLAN
 1/16/10



PROPOSED SITE & ROOF PLAN
 1/16/10



LANDSCAPE PLAN
 818 GREEN AVE
 SAN BRUNO CA 94066
 APR 020-14-210
 PROJECT DESIGNER: ALAN Z. QUYANG
 08/1/2016
 ODYSSEUS BUILDERS (B 965027)
 SAN FRANCISCO CA 94119
 TEL: 415-602-8381 FAX: 415-901-0697
 EMAIL: ODYSSEUS@ODYSSEUSBUILDERS.COM



PROPOSED SITE & ROOF PLAN
 1/8" = 1'-0"



SIDE WALK PAVER DETAIL

- Shrubs
- (SELECTION LIST:
- Artemisia californica* California sagebrush
 - Fremontodendron spp* Flannel bush
 - Lavatera spp Tree mallow
 - Lupinus sp* Lupine
 - Phlomis fruticosa Jerusalem sage
 - Rosmarinus officinalis Rosemary
 - Salvia spp Sage
 - Teucrium fruticans Germander
 - Westringia fruticosa Coast rosemary

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LANDSCAPE PLAN
 818 GREEN AVE
 SAN BRUNO CA 94066

APR 020-14-210

SHEET: _____
 OF 2 SHEET 5

PLAN NOTES A FOR BATHROOM

1) NEW VENTILATION WALL TO BE SET TO GRADE. THE 4" X 8" TRUCKING IS TO BE THINNING TO 2" OVER THE ENTIRE LENGTH OF THE WALL. THE WALL SHALL BE SET TO GRADE. THE WALL SHALL BE SET TO GRADE. THE WALL SHALL BE SET TO GRADE.

2) 1/2" THICK TYPE I GYP BOARD ON ALL GARAGE WALLS, FLOORS, EXPOSED PLUMBING, AND THE GARAGE CEILING.

3) 2" MIN. F GYP BOARD UNDER THE INTERIOR STAIRWAY.

4) 3/4" THICK SOLID WOOD, 2" MIN. F GYP BOARD UNDER THE INTERIOR STAIRWAY.

5) 1/2" THICK SOLID WOOD, 2" MIN. F GYP BOARD UNDER THE INTERIOR STAIRWAY.

6) 1/2" THICK SOLID WOOD, 2" MIN. F GYP BOARD UNDER THE INTERIOR STAIRWAY.

7) 1/2" THICK SOLID WOOD, 2" MIN. F GYP BOARD UNDER THE INTERIOR STAIRWAY.

8) 1/2" THICK SOLID WOOD, 2" MIN. F GYP BOARD UNDER THE INTERIOR STAIRWAY.

9) 1/2" THICK SOLID WOOD, 2" MIN. F GYP BOARD UNDER THE INTERIOR STAIRWAY.

10) 1/2" THICK SOLID WOOD, 2" MIN. F GYP BOARD UNDER THE INTERIOR STAIRWAY.

MECHANICAL NOTES

1) PROVIDE 200 CFM AIR EXHAUST FOR GARAGE VENTILATION. THE EXHAUST SHALL BE SET TO GRADE. THE EXHAUST SHALL BE SET TO GRADE. THE EXHAUST SHALL BE SET TO GRADE.

2) PROVIDE 200 CFM AIR EXHAUST FOR GARAGE VENTILATION. THE EXHAUST SHALL BE SET TO GRADE. THE EXHAUST SHALL BE SET TO GRADE. THE EXHAUST SHALL BE SET TO GRADE.

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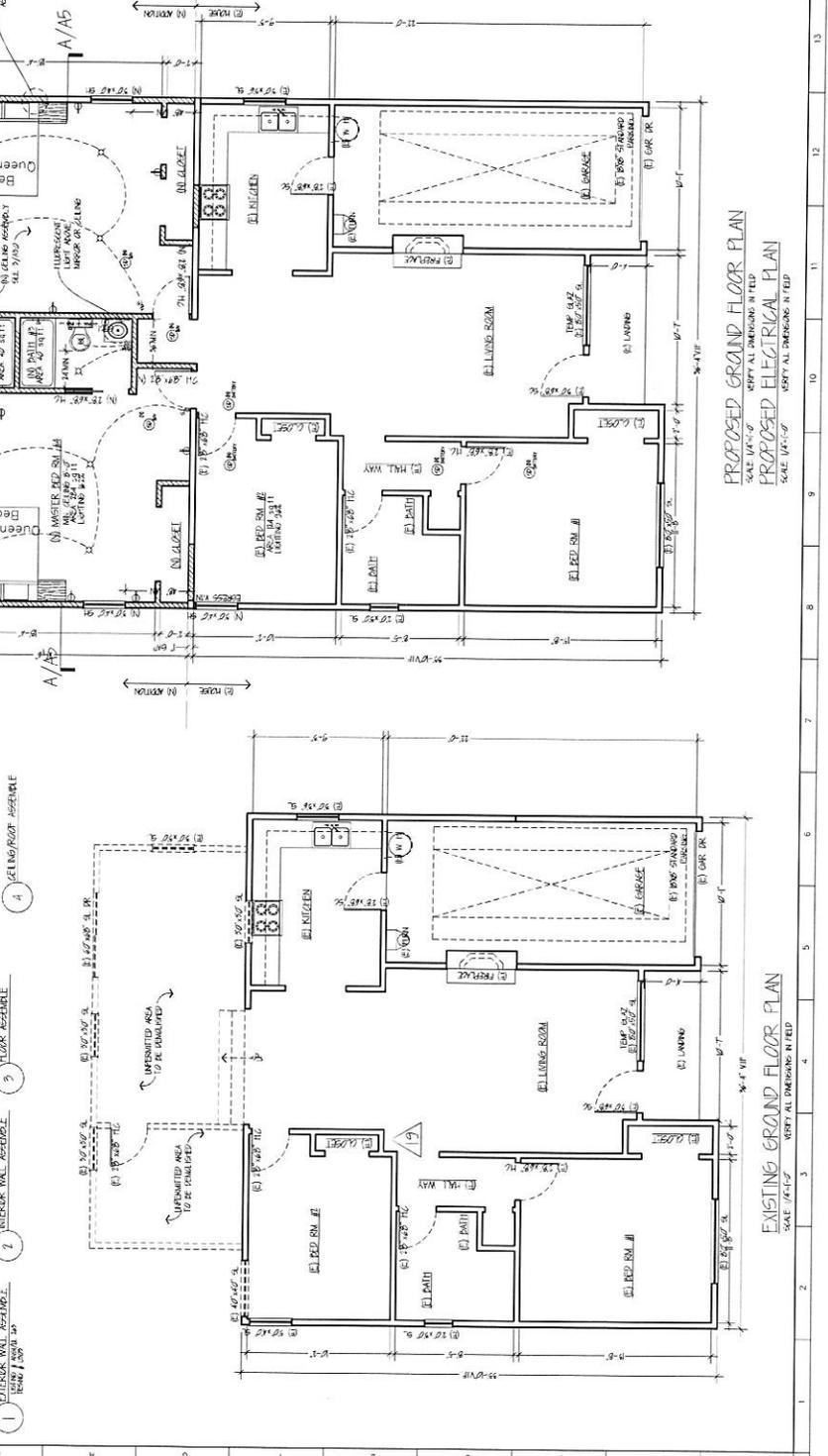
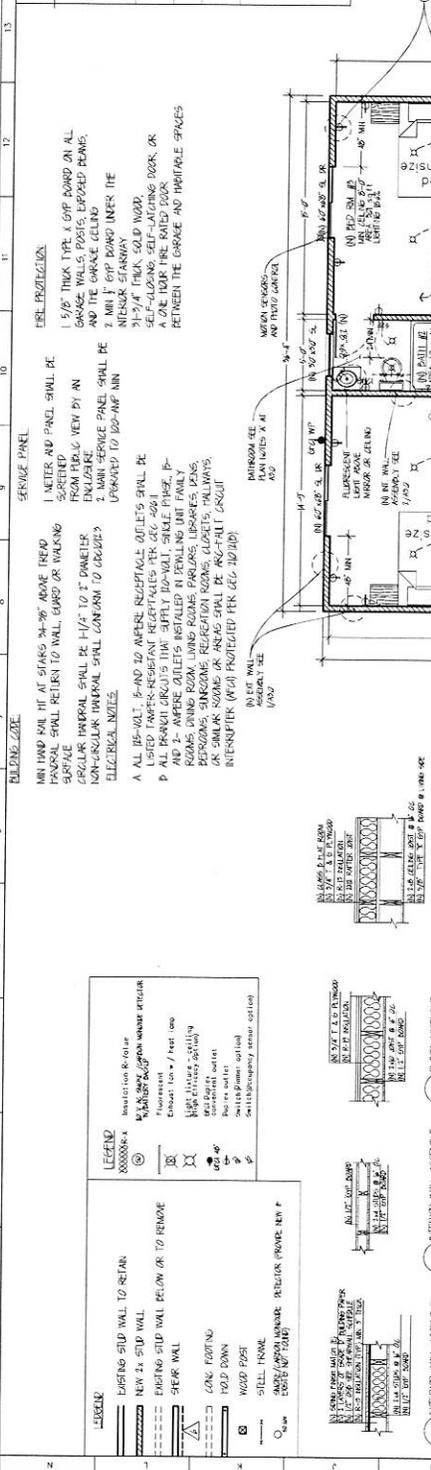
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LEGEND

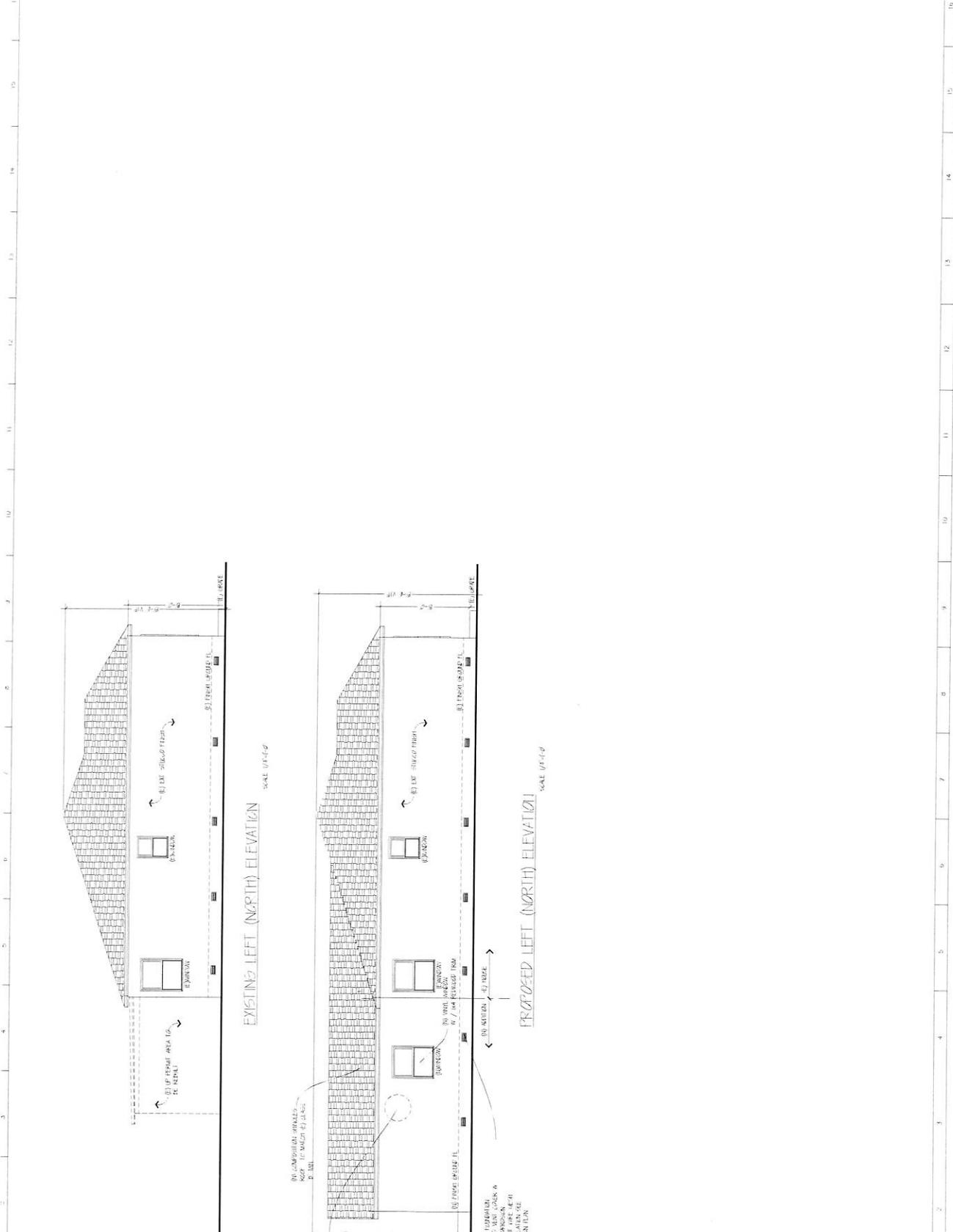
EXISTING 5/8" SIP WALL TO RETAIN
 NEW 5/8" SIP WALL
 EXISTING 5/8" SIP WALL BELOW OR TO REMOVE
 SHEAR WALL
 LONG FOOTING
 WOOD POST
 SILL FLOOR
 CONCRETE
 EXISTING 5/8" SIP WALL TO RETAIN
 NEW 5/8" SIP WALL
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LEGEND

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 EXISTING 5/8" SIP WALL BELOW OR TO REMOVE
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 LONG FOOTING
 WOOD POST
 SILL FLOOR
 CONCRETE

PROPOSED GROUND FLOOR PLAN
 SCALE 1/4"=1'-0"
 VERIFY ALL DIMENSIONS IN FIELD

EXISTING GROUND FLOOR PLAN
 SCALE 1/4"=1'-0"
 VERIFY ALL DIMENSIONS IN FIELD



10 9 8 7 6 5 4 3 2 1

16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

DATE	
DATE NO.	
SCALE	AS NOTED
DRAWN BY	AG
CHECKED BY	
PROJECT NO.	
SHEET	A5.0
OF 5 SHEET(S)	

PROJECT DESIGNER ALAN Z. QUNANG 11/26/2015
 ODYSSEUS BUILDERS (B 965027)
 2023 POLA ST. APT 101 TEL. 415-602-0281 FAX 415-901-0657
 SAN FRANCISCO CA 94109 EMAIL ODYSSEUSBUILDERS@GMAIL.COM

ELEVATIONS / SECTIONS
 515 GREEN AVE
 SAN FRANCISCO, CA 94102

SAN MATEO COUNTYWIDE SUSTAINABLE BUILDINGS CHECKLIST

818 Green Ave



checklist

✓	No.	Item	Applicable Building Types			
Goal: Create a more sustainable community						
	1	Build mixed-use developments and provide public amenities such as open space	c	m		
	2	Cluster development to minimize paving and utilities, and to preserve open space	c	m		
	3	Reuse a brownfield or previously occupied site	c	m		
	4	Design for easy pedestrian, bicycle, and transit access	c	t	m	
Goal: Respect your site						
✓	5	Design and landscape to create comfortable micro-climates and reduce heat island effects	c	m	s	✓
✓	6	Optimize building orientation for heat gain, shading, daylighting, and natural ventilation	c	m	s	✓
✓	7	Reduce building footprint - smaller is better	c	m	s	✓
✓	8	Limit site impacts, balance cut and fill, preserve existing vegetation and protect soil during construction	c	m	s	✓
	9	Use native plants that are drought-resistant, create habitat for indigenous species, and do not require pesticides for maintenance	c	m	s	
	10	Use recycled rubble for backfill drain rock	c	m	s	
Goal: Save water and reduce local water impacts						
✓	11	Maximize onsite stormwater management through landscaping and permeable pavement	c	m	s	✓
✓	12	Use rainwater harvesting	c	m	s	✓
✓	13	Use water-conserving landscape technologies such as drip irrigation, moisture sensors, and watering zones	c	m	s	✓
Goal: Reduce, reuse, recycle						
✓	14	Reuse a building (renovate) instead of tearing down and rebuilding	c	t	m	s
✓	15	Deconstruct old buildings for materials reuse (salvage)	c	t	m	s
✓	16	Recycle construction & demolition waste	c	t	m	s
✓	17	Design for durability and eventual reuse	c	t	m	s
✓	18	Provide adequate space for storing and handling recyclables	c	t	m	s
Goal: Make concrete with sustainable materials						
✓	19	Use flyash in concrete	c	t	m	s
	20	Use recycled aggregate in non-structural concrete	c	t	m	s
	21	Use prefabricated forms or save and reuse wood form boards	c	t	m	s
Goal: Design to save wood and labor						
	22	Use spacings, sizes, and modular dimensions that minimize lumber use and optimize performance	c	t	m	s
	23	Use engineered lumber or metal stud framing to replace solid-sawn lumber	c	t	m	s
Goal: Support sustainable forests						
✓	24	Use sustainably harvested lumber (FSC certified) for wood framing	c	t	m	s
	25	Use reclaimed or salvaged lumber	c	t	m	s
Goal: Make a sustainable roof						
✓	26	Use durable roofing materials	c	m	s	✓
	27	Use a cool roof	c	m	s	
	28	Use a green or living roof	c	m	s	
Goal: Support healthy environments and sustainable forests						
✓	29	Use sustainable siding materials	c	m	s	✓
	30	Use sustainable decking materials	c	m	s	✓
Goal: Save energy through passive design						
	31	Provide shading on east, west and south windows with overhangs, awnings, or deciduous trees	c	m	s	
	32	Plan windows and skylights, light shelves, and window treatments to provide daylight that improves indoor environments	c	t	m	s
	33	Choose window sizes, frame materials, and glass coatings to optimize energy performance	c	m	s	
✓	34	Stop air leakage at doors and windows	c	m	s	✓
Goal: Save water and energy in plumbing systems						
✓	35	Use water-conserving plumbing fixtures	c	t	m	s
✓	36	Use water-saving appliances and equipment	c	t	m	s
✓	37	Insulate hot and cold water pipes	c	t	m	s
✓	38	Use heat recovery equipment, tankless water heaters and/or on-demand hot water circulation pumps	c	t	m	s
	39	Pre-plumb for future graywater use for toilet flushing and landscape irrigation	c	m	s	
Goal: Reduce environmental impacts from materials production						
	40	Use sustainable materials for pipes	c	t	m	s

COMMUNITY PLANNING

SITE & LANDSCAPE

WASTE REDUCTION & MANAGEMENT

CONCRETE

WOOD FRAMING

EXTERIOR FINISHMENTS, SIDING & ROOFING

PLUMBING

NAME: _____
 SITE ADDRESS: *818 Green Ave*
 PERMIT NUMBER: _____

Permit applicants are required to complete and return this checklist as part of the permit and planning process. Place a check mark next to each sustainable building practice planned for your project. For assistance, contact your city or call the RecycleWorks hotline at 1-888-442-2666.

KEY
 c Commercial/Industrial
 t Tenant Improvement
 m Multi-family housing
 s Single-family home

CITY OF SAN BRUNO
 COMMUNITY DEVELOPMENT DEPARTMENT

JUL 07 2011



checklist

Permit applicants are required to complete and return this checklist as part of the permit and planning process. Place a check mark next to each sustainable building practice planned for your project. For assistance, egn@sgc-city.org or call the Recycleworks hotline at 1-888-442-2666.

	✓	No.	Item	Applicable Building Types	
ELECTRICAL	Goal: Save energy in lighting				
	✓	41	Design lighting levels for actual use, and use task lighting to reduce general lighting levels	c t m s ✓	
	✓	42	Use energy-efficient lamps and lighting fixtures	c t m s ✓	
		43	Use lighting controls that save energy such as occupancy sensors	c t m s	
Goal: Save energy in equipment use					
✓	44	Use ENERGY STAR® appliances	c t m s ✓		
	45	Use a building energy management system	c t m		
HEATING & COOLING	Goal: Save energy through passive design				
		46	Use passive solar design, thermal mass, and insulation to reduce space heating needs	c m s	
		47	Replace air conditioning with natural ventilation and passive cooling	c m s	
		48	Use ceiling fans for comfort cooling, and use a whole-building fan for night-time cooling	c t m s	
	✓	49	Upgrade wall, floor, and ceiling insulation to exceed minimum State requirements	c m s ✓	
	Goal: Save energy in equipment use				
	✓	50	Use high-efficiency equipment including furnaces, boilers, fans, and pumps	c m s ✓	
		51	Use heat recovery equipment	c m s	
		52	Use geothermal systems, cogeneration, or other alternatives for heating and cooling	c m	
	✓	53	Place ductwork within conditioned space, seal joints properly, and clean before occupancy	c t m ✓	
	54	Zone mechanical systems for more efficient heating and cooling	c t		
	55	Use radiant and hydronic systems for increased efficiency, health, and comfort	c t m s		
	56	Use equipment without ozone-depleting refrigerants	t m		
Goal: Create healthy indoor environments					
✓	57	Use recycled-content, formaldehyde-free fiberglass insulation, cellulose insulation, or other green insulation products	c t m s ✓		
	58	Separate ventilation for indoor pollutant sources and provide advanced filtration to improve indoor air quality	c t m s		
	59	Use clean and efficient alternatives to wood-burning fireplaces	m s		
RENEWABLE POWER & SOLAR ENERGY	Goal: Replace fossil fuel use with alternatives				
		60	Generate clean electricity onsite using solar photovoltaics	c m s	
		61	Generate clean electricity onsite using wind turbines	c m s	
		62	Use solar hot-water systems for domestic use and swimming pools	c m s	
		63	Use solar hot-water systems for space heating	c m s	
	64	Pre-plumb for a solar hot-water system	c m s		
INTERIOR MATERIALS	Goal: Create healthy indoor environments				
	✓	65	Use low- or no-VOC, formaldehyde-free paints, stains, and adhesives	c t m s ✓	
	✓	66	Use low- or no-VOC carpets, furniture, particleboard, and cabinetry	c t m s ✓	
	✓	67	Use exposed concrete as a finished floor	c t m s ✓	
	✓	68	Use natural materials such as wool and sisal for carpets and wallcoverings	c t m s ✓	
✓	69	Use sustainable materials for flooring, trim, and interior surfaces	c t m s ✓		
Goal: Support the market for recycled materials					
	70	Use recycled-content floor tile, carpets and pads, cabinets, and countertops	c t m s		
Goal: Support sustainable forests					
✓	71	Use reclaimed / salvaged, sustainably harvested (FSC certified), or engineered wood for flooring and trim, or use wood alternatives such as bamboo and cork	c t m s ✓		
OTHER GREEN ALTERNATIVES	Goal: Use creativity and innovation to build more sustainable environments				
		72	Use insulated concrete forms	c m s	
		73	Use structural insulated panels to replace wood-framed walls	c t m s	
		74	Use natural building materials and techniques	c m s	
		75	Other sustainable methods or materials used. <i>Please describe:</i>	c t m s	

KEY
 c Commercial/Industrial
 t Tenant Improvement
 m Multi-family housing
 s Single-family home

Applicant Signature: _____



567 El Camino Real
 San Bruno, CA 94066
 Voice: (650) 616-7074
 Fax: (650) 873-6749
 www.sanbruno.ca.gov

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 Mark Sullivan, AICP, *Long-Range Planning Manager*
 Matt Neuebaumer, *Associate Planner*
 Brian Millar, AICP, *Contract Senior Planner*
 Paula Bradley, AICP, *Contract Associate Planner*
 Marc Zafferano, *City Attorney*

PLANNING COMMISSION

Mary Lou Johnson, *Chair*
 Kevin Chase, *Vice Chair*
 Rick Biasotti
 Sujendra Mishra
 Perry Petersen
 Joe Sammut

**PLANNING COMMISSION
 STAFF REPORT
 AGENDA ITEM NO. 5C
 August 18, 2015**

DATE: August 18, 2015

TO: Planning Commission

FROM: Mark Sullivan, Long-Range Planning Manager

SUBJECT: Amendment to the U.S. Navy Site and Its Environs Specific Plan (SPA-15-001), and Supplemental Environment Impact Report

RECOMMENDATION

Staff recommends that the Planning Commission adopt Resolution 2015-05 recommending that the San Bruno City Council approve an Amendment to the U.S. Navy Site And Its Environs Specific Plan related to The Crossing Hotel Site and the associated Supplemental Environmental Impact Report (Supplemental EIR) (SCH #99092026), pursuant to Sections 65450-65457 of the California Government Code (SPA-15-001). Owner: City of San Bruno.

BACKGROUND

The subject property is The Crossing Hotel Site, a 1.5-acre vacant development site consisting of two parcels of land located on Admiral Court within the 20-acre Crossing development, adjacent to the El Camino Real/I-380 interchange. The Crossing Hotel Site is the last undeveloped property located within the former U.S. Navy site, now called The Crossing. The U.S. Navy Site and Its Environs Specific Plan (Specific Plan) was developed through a community planning process and adopted by the City Council in January 2001. The Specific Plan provides the planning framework for the growth and redevelopment of the former U.S. Navy Site. The overall Specific Plan area is zoned P-D, and the subject property is within the Specific Plan/General Plan land use classification for Visitor Services, which calls for a high quality hotel that offers guest rooms and meeting facilities and a variety of personal services.

The purpose of this item is to consider amending the Specific Plan to reduce the maximum size of a hotel, meeting space and height allowed on The Crossing Hotel Site. The Specific Plan currently allows the development of a seven story, 500-room full-service hotel with up to 15,000 square feet of retail and meeting space on what was then a 5.5 acre site, including the proposed site of a separate above-ground parking garage. The proposed Amendments would modify the Specific Plan to allow

up to a 152-room hotel in a building up to five stories (73' maximum height), with meeting space for up to 300 people and underground parking located on site.

The development of The Crossing has resulted in reduction of the hotel site to 1.5 acres, which can no longer accommodate a hotel on the scale envisioned in the Specific Plan. Development of The Crossing began in 2002 and was mostly completed in 2012, with the exception of the hotel site. The Crossing includes the installation of roadways, landscaping, open space, utilities, and a total of 1,063 multi-family units in five buildings (835 multi-family rental units, 228 senior rental units), and approximately 12,250 square feet of retail space. Two previous Specific Plan amendments were adopted to adjust to economic conditions during construction of The Crossing in order to implement the vision of the Specific Plan. An amendment in 2001 created “flex” office/residential sites, which allowed multi-family housing to be built in place of office if the office market remained weak. This resulted in residential uses replacing the proposed office and a parking garage use. An amendment in 2005 allowed development of the El Camino Real Commercial project, which increased the retail frontage on El Camino Real. These changes reduced the size of the hotel site to 1.5 acres.

PROJECT ANALYSIS

This discussion summarizes the proposed Specific Plan amendments, the related environmental review, and Planning Commission review.

Specific Plan Amendment

The Specific Plan Amendment would reduce the size of the site to 1.5 acres and the scale of the hotel to be up to a maximum of 152 rooms, and make other minor changes to update information in the Specific Plan. The Amendments would revise the hotel description in Land Use and Development Standards sections to reflect the changes, as outlined in the table below.

Item	Existing Specific Plan	Proposed Amendments
Site Size	5.5 acres (included a portion of ECR Commercial Project and parking garage site)	1.5 acres
Hotel Type	High quality, full service “flagship” hotel with full-service restaurant	High quality hotel with bar and food service facilities for guests
Number of Rooms	Up to 500 rooms	Up to 152 rooms
Maximum Height	90 feet (seven stories)	Five stories (approximately 73’ above ground level). Maximum height is between approximately 133 and 136 feet Above Mean Sea Level, in compliance with 2012 Airport Land Use Compatibility Plan (ALUCP) for the Environs of the San Francisco Airport and FAA.
Parking	Above-ground parking garage. One parking space per room and potential 15 percent reduction for shared parking	Underground parking structure integrated into the main building. One parking space per room, potential 15 percent reduction for shared parking, and one space for

		each 100 square feet of meeting space
Meeting/Conference Space	Up to 15,000 square feet	Approximately 3,000 square feet, which could be configured to provide theatre-style seating for approximately 300 people, banquet-style seating for sit-down events for approximately 200 people, or ballroom-style arrangements for wedding events for up to 150 people
Energy, Water and Waste Conservation Measures	None	Install minimum of 6,000 square feet of solar photovoltaic panels on the rooftop, improve building envelope energy efficiency 15% over 2013 Title 24 standards, and incorporate other specific energy efficiency, water conservation, and recycling measures

In addition, the proposed amendments would update information throughout the Specific Plan for accuracy and to reflect current conditions. These changes are not substantive but are designed to make information in the Specific Plan consistent and relevant to the reader.

Approval of the proposed Specific Plan Amendment and EIR does not confer approval of any particular hotel development, which would still require review by the Architectural Review Committee, Planning Commission, and City Council at a later date.

Achieving City Objectives

The development of a hotel on The Crossing Hotel Site has long been a high priority of the City Council and the community and is an integral part of the vision for The Crossing as mixed-use transit oriented development. The proposed Amendment is most likely to further the objectives and policies of the U.S. Navy Specific Plan to complete The Crossing development and to ensure long-term economic vitality of the City. The Amendment is in conformance with the Specific Plan and General Plan objectives and policies, listed below.

Specific Plan

- Create a pedestrian friendly, mixed-use Transit-Oriented Development that encourages use of transit and promotes walkability and livability as part of a cohesive interactive community.
- Create a land use development which helps assure long-term economic vitality and sustainability for the City.
- Encourage a compatible mixture of land uses and service facilities which will assure long-term revenue generation, create jobs, and offer a range of housing types, densities and affordability.
- Implement Design and Development Standards to create a visually attractive gateway development based upon the principle of a pedestrian-friendly transit-oriented development.
- Provide a strong visual and pedestrian linkages to Tanforan Park Shopping Center and BART; as well as Bayhill Office Park and other adjacent land uses.

- Establish design guidelines for hotels which promote high quality private development that contributes to the visual identity and surrounding area.

General Plan

- Intensify land uses surrounding the San Bruno BART station and San Bruno Avenue Caltrain station, including development of transit-oriented uses and hotels. (LUD-B)
- Stimulate reuse and intensification with multi-use, transit-oriented development along El Camino Real. (LUD-C)
- Facilitate development on The Crossing site (former US Navy site) according to the US Navy Site and Its Environs Specific Plan. (LUD-45)
- Establish a high-quality hotel at The Crossing that serves travelers to and from the San Francisco International Airport. Provides convenient transit for visitors with proximity to BART and Caltrain. (ED-3)
- Maintain a positive business climate within San Bruno, including resources for business attraction and expansion. (ED-A)
- Capture a larger share of spillover economic uses from San Francisco International Airport, including car rental, limousine services, hotels, etc. (ED-E)

Supplemental Environmental Impact Report

CEQA requires that before a project with potentially significant environmental effects may be approved, an EIR must be prepared that fully describes the environmental effects of the project, identifies mitigation measures to lessen or eliminate adverse impacts, and examines feasible alternatives to the project. To evaluate the environmental impact of the reduced size hotel, the City has prepared an Initial Study and a Supplemental EIR in conformance with the California Environmental Quality Act (CEQA). The City concluded that a Supplemental EIR was the appropriate CEQA analysis due to the involvement of new potentially significant impacts or a substantial increase in the severity of previously identified significant impacts, pursuant to CEQA Guidelines Sections 15162 and 15163. The City determined that additional environmental review in a Supplemental EIR must be conducted for the following topics:

- Air Quality
- Greenhouse Gas Emissions
- Transportation and Circulation
- In addition, the Supplemental EIR includes a number of revisions to existing Mitigation Measures to bring them up to current standards.

Air Quality. This review evaluates the impacts of the construction and operation of a hotel that would be allowed under the Specific Plan Amendment on ambient air quality and the exposure of people, especially sensitive individuals, to air pollutants. The analysis focuses on whether the proposed project would exceed a State or national air quality standard, a health standard for exposure to toxic air contaminants, or a CEQA threshold proposed by the Bay Area Air Quality Management District (BAAQMD).

The City performed a Health Risk Assessment that found that diesel emissions from construction activities (off-road equipment and haul trucks) could result in exposure to levels that exceed applicable health standards, resulting in a new significant impact not identified in the original EIR. Therefore, new Mitigation Measure 4.A-3 was added to ensure that diesel emissions would be

reduced to the extent feasible and that potential health risk would be less than significant. The Supplemental EIR also updates existing mitigation measures to include current best practices for dust and emissions mitigations. The mitigation measures identified in the original EIR and in this Supplemental EIR ensure that the proposed project would not result in any new potentially significant air quality effects that cannot be mitigated to a less-than-significant level.

Greenhouse Gas Emissions (GHGs). This section examines the potential for the proposed project to result in increased greenhouse gas (GHGs) emissions, which contribute to climate change. GHGs were not analyzed in the original EIR and were not commonly analyzed in CEQA documents at the time. In 2005, the Governor's Office required formal analysis of GHG's, and in 2012, new BAAQMD Guidelines called for analysis of the impacts of emissions on GHGs. The project-specific impact analysis evaluated the construction and operation of a hotel related to GHGs, and found that the project would exceed the recommended threshold for GHGs. Therefore, the City has added new conservation standards in the Specific Plan Amendment that would reduce operational emissions associated with the project, including requiring installation of rooftop solar photovoltaic panels, improving the building envelope energy efficiency, and energy efficient fixtures and appliances. Compliance with the conservation standards under this amendment would reduce operational emissions associated with the project to a less-than-significant GHG impact.

Transportation. The Specific Plan EIR found that significant transportation impacts would not result at local intersections due to the buildout of the proposed Specific Plan. There are no substantial changes in the proposed project or new information of substantial importance since the original Specific Plan EIR that would result in any new significant environmental effects or substantial increase in the severity or previously identified significant effects related to transportation. The traffic impact analysis performed for the Supplemental EIR confirmed that the proposed project would have less than significant impacts to transportation, which is consistent with the Specific Plan EIR.

Project Alternatives. CEQA Guidelines require that an EIR evaluate a range of reasonable alternatives to the project or to the location of the project that could avoid or substantially lessen any of the significant effects of the project and feasibly attain most of its basic objectives, including discussion of the "No Project" Alternative. The Supplemental EIR examined two alternatives to the proposed Specific Plan amendments. The No Project Alternative would have the least impact, followed by the Reduced Development Alternative and the proposed Project. Although the No Project Alternative is environmentally superior, it would not be consistent with the Specific Plan objectives. The Reduced Development Alternative would reduce some of the impacts identified for the proposed project related to air quality and greenhouse gas emissions and achieve many of the plan objectives. However, approval of the proposed project is appropriate because it avoids any potential adverse impacts with the implementation of mitigation measures, and it is most likely to achieve City objectives to complete The Crossing development and to ensure long-term economic vitality of the City.

The Draft Supplemental EIR was released on May 18, 2015 and distributed to State and regional reviewing agencies as well as neighboring cities and stakeholders, in accordance with CEQA Guidelines. A list of reviewing agencies is included in the Draft Supplemental EIR. The document is available to view on the City's website as well as physical copies at City Hall and the San Bruno Public Library. The Final Supplemental EIR was released on August 11, 2015.

Public Comment

The City provided public notice of the availability of the Draft Supplemental EIR on May 18, 2015 for a 45-day public review period, which ended on July 2, 2015. The City received comments only from only two agencies, the California Department of Transportation (DOT) and San Francisco International Airport (SFO). The City has responded to both comment letters, as discussed in the Final Supplemental EIR. The DOT requested additional information regarding freeway conditions and queuing analysis for left turn lanes on El Camino Real and Commodore. The City has provided this information to DOT. SFO noted that the Specific Plan must require compliance with ALUCP airspace policies. SFO also suggested additional clarification regarding maximum building height specifying elevation Above Mean Sea Level (AMSL) vs. Above Ground Level (AGL). Both of SFO's comments have been addressed in the Specific Plan Amendment.

Notices for the Planning Commission public hearing were mailed to owners of property within 300 feet and to individuals who requested notification on August 7, 2015. An advertisement was published in the San Mateo Daily Journal, Saturday, August 8, 2015. The City has received no further comments regarding this proposal as of the writing of this report. The City received comments on the Draft Supplemental EIR during the duly notice 45-day public comment period from two Agencies, the California Department of Transportation and San Francisco International Airport. These comments requested clarification of certain analysis in the Supplemental EIR, which are addressed in the Final Supplemental EIR.

CONCLUSION

In conclusion, the amendments to the Specific Plan are in response to the changing physical circumstances of The Crossing Hotel Site and its realistic capacity to accommodate a smaller 152-room hotel given the smaller size of the site (1.5 acres) and still achieve Specific Plan objectives. The proposed project would not result in any new potentially significant impacts that cannot be mitigated to a less-than-significant level with implementation of the mitigation measures identified in the original Specific Plan EIR and in this Supplemental EIR. Staff believes that these amendments will retain the transit-oriented mixed-use development originally adopted in the Specific Plan and that the changes are necessary to take advantage on current economic conditions that favor development of a hotel. The development of the last vacant site at The Crossing complete the vision that was set out in the Specific Plan and provide an asset to the community.

Staff recommends the Planning Commission adopt Resolution 2015-05 recommending that the San Bruno City Council approve the Amendments to the U.S. Navy Site And Its Environs Specific Plan and associated Supplemental Environmental Impact Report.

EXHIBITS

- A. Site Location
- B. Resolution
- C. Final Supplemental EIR (previously transmitted to Planning Commission on August 12, 2015)
- D. Draft Supplemental EIR (previously transmitted to Planning Commission on May 6, 2015)
- E. Crossing Hotel Site Specific Plan Amendment text changes (previously transmitted to Planning Commission on August 12, 2015)

Exhibit A: Site Location
Crossing Hotel Site, Admiral Court
Parcel No. 020-013-250 and 020-013-260
SPA-15-001

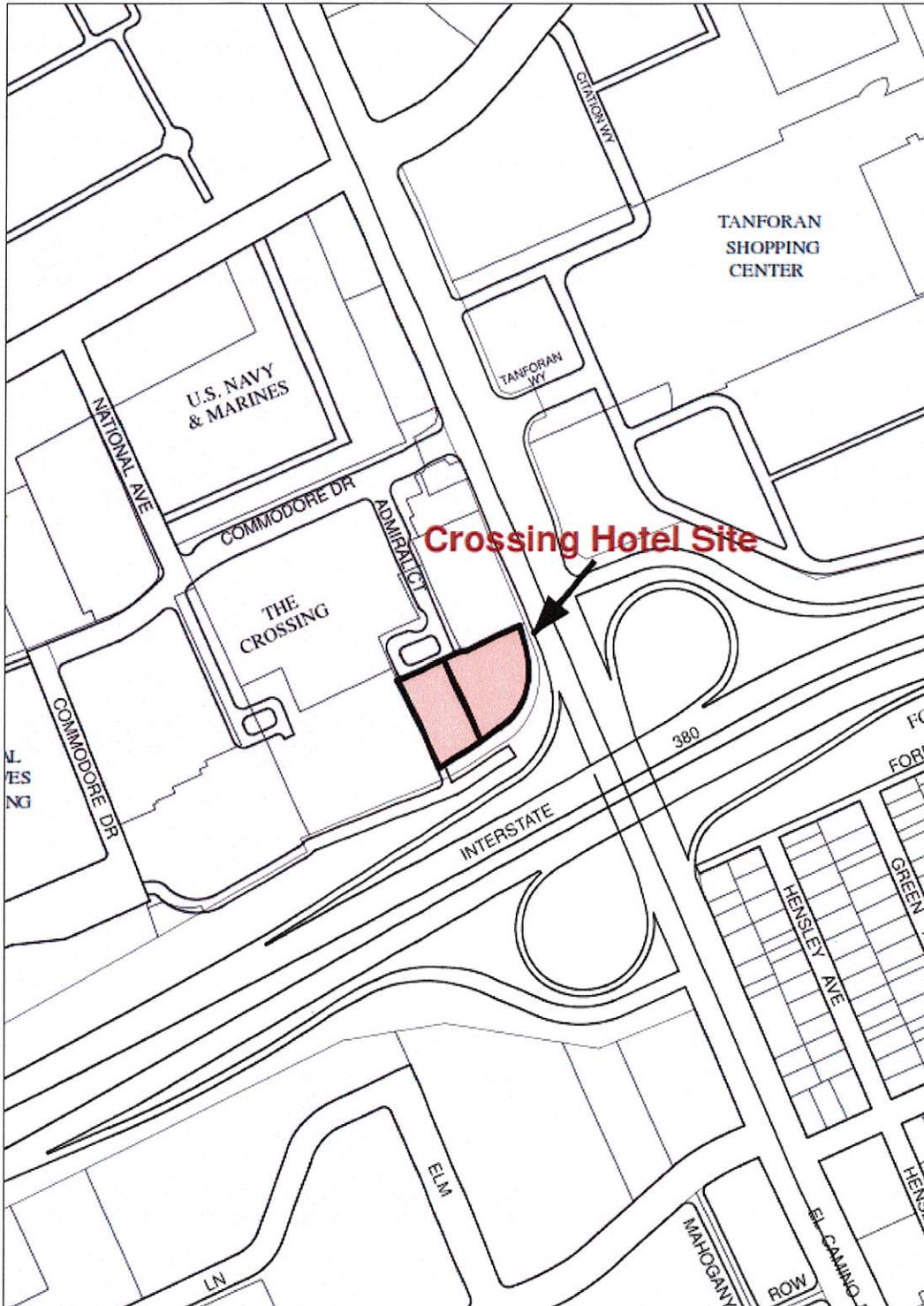


EXHIBIT A

RESOLUTION NO. 2015 – 05

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN BRUNO RECOMMENDING THAT THE CITY COUNCIL AMEND THE U.S. NAVY SITE AND ITS ENVIRONS SPECIFIC PLAN AND CERTIFY THE ASSOCIATED SUPPLEMENTAL ENVIRONMENTAL IMPACT REPORT RELATED TO THE CROSSING HOTEL SITE

WHEREAS, on January 9, 2001, the City Council amended the San Bruno 1984 General Plan by adopting the U.S. Navy Site and its Environs Specific Plan (“Specific Plan”), with policies, provisions, densities, heights of buildings and structures, circulation and land use map designations for the former U.S. Navy site;

WHEREAS, on January 9, 2001, the City Council certified a Final Environmental Impact Report (“EIR”) for the Specific Plan as complete, correct and adequate, and prepared in accordance with all applicable State, local and regional guidelines;

WHEREAS, on December 11, 2001, the City Council approved the first amendment to the Specific Plan and an Addendum to the EIR to create flexible zoning of office and nonresidential uses allowing additional residential uses;

WHEREAS, on August 9, 2005, the City Council approved the second amendment to the Specific Plan and an Addendum to the EIR to allow development of the ECR Commercial Project at The Crossing;

WHEREAS, the Specific Plan provides for the development of a compact, interactive, and pedestrian-friendly community based on the principles of transit-oriented development offering multi-family, senior, and affordable housing, up to 500 hotel rooms, meeting space, restaurant space, neighborhood-serving retail, office/residential flex space, recreational opportunities and parking facilities (the “Project”) on certain real property located in the City of San Bruno;

WHEREAS, consistent with the development of the envisioned mixed-use Project, the Specific Plan designated Parcels 7 and 8 for Visitor Serves land use (The Crossing Hotel Site), and provided development standards for a hotel with up to 500 rooms, a full-service restaurant and 15,000 square feet of conference/retail space;

WHEREAS, The Crossing Hotel Site is now the last remaining vacant development site within The Crossing, and the City has determined that the timely development and leasing of a hotel is critical to establishing the interactive mixed-use pedestrian nature of the Project, as envisioned by the Specific Plan;

WHEREAS, the size of The Crossing Hotel Site has decreased in size from 5.5 acres (including a site for a separate shared parking garage) to 1.5 acres due to the development at The Crossing, including the construction of residential uses on the flex sites in place of office uses, a parking garage, and the El Camino Real Commercial project, and the site can now reasonably accommodate a 152-room hotel with underground parking;

WHEREAS, in order to plan for a smaller hotel development site, the Community Development Department have proposed amendments to the Specific Plan (The Crossing Hotel Site Specific Plan Amendment), which include allowing a smaller hotel, up to 152 rooms, providing limited food service facilities, conference/banquet space to accommodate up to 300 people, and adding conservation standards for energy and water efficiency and recycling;

WHEREAS, a Supplemental EIR has been prepared as a supplement to the original EIR, which analyzes the impacts of The Crossing Hotel Site Specific Plan Amendment;

WHEREAS, pursuant to pursuant to Public Resources Code Section 21166 and CEQA Guidelines Sections 15162 and 15163, a Supplemental EIR has been prepared because the City considers the proposed changes in The Crossing Hotel Site Specific Plan Amendment to be "minor changes" that trigger the need for a supplement to the previously certified 2001 Specific Plan EIR due to the involvement of new potentially significant impacts or a substantial increase in the severity of previously identified significant impacts;

WHEREAS, a Notice of Public Hearing was mailed on August 7, 2015 and duly posted in the San Mateo Daily Journal on Saturday, August 8, 2015 for consideration of the Specific Plan Amendment and environmental review before the Planning Commission;

WHEREAS, the Planning Commission held a Public Hearing on the Specific Plan and environmental review documents on August 18, 2015, and on said date, the Public Hearing was opened, held and closed;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of San Bruno, based on facts in the staff reports, written and oral testimony, and exhibits presented:

1. The proposed Crossing Hotel Site Specific Plan Amendment is consistent with the San Bruno General Plan 2025 and the U.S. Navy Site and Its Environs Specific Plan.
2. The Final Supplemental EIR has been completed in compliance with CEQA.
3. With the proposed new and updated mitigation measures, the proposed amendments do not create new significant impacts nor do they substantially increase the severity of previously identified impacts.
4. The Planning Commission hereby recommends that the San Bruno City Council approve The Crossing Hotel Site Specific Plan Amendment and certify the Supplemental EIR.
5. The Secretary of the City of San Bruno Planning Commission is hereby directed to forward to the City Council a certified copy of this resolution together with an attested copy.

Dated

Planning Commission Chair

ATTEST:

APPROVED AS TO FORM:

Planning Commission Secretary

City Attorney

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I, David Woltering, Planning Commission Secretary, do hereby certify that the foregoing Resolution was duly and regularly passed and adopted by the Planning Commission of the City of San Bruno this 18th day of August, 2015 by the following vote:

AYES: Commissioners: _____

NOES: Commissioners: _____

ABSENT: Commissioners: _____