

“The City With a Heart”



Mary Lou Johnson, Chair
Kevin Chase, Vice Chair
Rick Biasotti
Sujendra Mishra
Perry Petersen
Joe Sammut

AGENDA PLANNING COMMISSION MEETING

May 19, 2015

7:00 p.m.

Meeting location: Senior Center, 1555 Crystal Springs Road, San Bruno

Planning Commission meetings are conducted in accordance with Roberts Rules of Order Newly Revised. You may address any agenda item by approaching the microphone until recognized by the Planning Commission Chair. All regular Planning Commission meetings are recorded and televised on CATV Channel 1 and replayed the following Thursday, at 2:00 pm. You may listen to recordings in the Community Development Department. Complete packets are available online at www.sanbruno.ca.gov and at the library. In compliance with the Americans with Disabilities Act, individuals requiring reasonable accommodation for this meeting should notify us 48 hours prior to meeting. Notices, agendas, and records for or otherwise distributed to the public at a meeting of the Planning Commission will be made available in appropriate alternative formats upon request by any person with a disability. Please make all requests to accommodate your disability to the Community Development Department 650-616-7074.

ROLL CALL

PLEDGE OF ALLEGIANCE

1. APPROVAL OF MINUTES: April 21, 2015

2. COMMUNICATIONS

3. PUBLIC COMMENT ON ITEMS NOT ON AGENDA Individuals allowed three minutes, groups in attendance, five minutes. If you are unable to remain at the meeting, ask the Recording Secretary to request that the Planning Commission consider your comments earlier. It is the Planning Commission's policy to refer matters raised in the forum to staff for investigation and/or action where appropriate. The Brown Act prohibit the Planning Commission from discussing or acting upon any matter not agendaized pursuant to State Law.

4. ANNOUNCEMENT OF CONFLICT OF INTEREST

5. PUBLIC HEARINGS Note: If you challenge the below actions in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this agenda, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

A. 3189 Moreland Drive (APN: 017-513-310)

Zoning District: R-1 (Single Family Residential)

Recommended Environmental Determination: Categorical Exemption

Request for a Use Permit to exceed the maximum permitted floor area allowed of 3,686 square feet; a Use Permit to exceed the 35% lot coverage requirement (36%), and a Use Permit to exceed the maximum allowed garage size of 600 square feet, according to Sections 12.200.030.A.1; 12.200.030.A.2, and 12.200.080.B, respectively, of the San Bruno Municipal Code. Sky Uotani, KB Designs (Applicant), Angel W. Hong (Owner) **UP-15-002**.

6. DISCUSSION

A. CITY STAFF DISCUSSION

- Select the June 11, 2015 Architectural Review Committee members

B. PLANNING COMMISSION DISCUSSION

7. ADJOURNMENT

The next regular Planning Commission Meeting will be held on June 16, 2015 at 7:00 p.m. at the Senior Center, 1555 Crystal Springs Road, San Bruno.



Mary Lou Johnson, *Chair*
Kevin Chase, *Vice Chair*
Rick Biasotti
Sujendra Mishra
Perry Petersen
Joe Sammut

**MINUTES
PLANNING COMMISSION MEETING**

April 21, 2015

7:00 p.m.

Meeting location: Senior Center, 1555 Crystal Springs Road, San Bruno

CALL TO ORDER at 7:00 pm.

ROLL CALL

	<u>Present</u>	<u>Absent</u>
Chair Johnson	X	
Vice Chair Chase		X
Commissioner Biasotti	X	
Commissioner Mishra	X	
Commissioner Petersen	X	
Commissioner Sammut	X	

STAFF PRESENT:

Planning Division:

Long Range Planning Manager: Mark Sullivan
Associate Planner: Matt Neuebaumer
Community Development Technician: Brian Paland

Pledge of Allegiance: Commissioner Sammut

1. Approval of Minutes (March 17, 2015) – Petersen/Biasotti

VOTE: 5-0
AYES: Commissioners Sammut, Biasotti, Johnson, Petersen, Mishra
NOES: None
ABSTAIN: None

2. Communication – None

3. Public Comment – None

Christine Price (823 Mills Ave.) – Noted that the streets on the East side of El Camino Real are in need of repaving.

4. Announcement of Conflict of Interest – None

5. Conduct of Business – Introduction and verbal report from Leslie Hatamiya, Executive Director of the San Bruno Community Foundation.

Mark Sullivan: Introduced Leslie Hatamiya, Executive Director of the San Bruno Community Foundation. She will be leading the foundation which was established for the long term benefit of the San Bruno community with 70 million dollars in funding.

Leslie Hatamiya: As a twelve year resident of San Bruno, she is honored to serve as the first Executive Director of the San Bruno Community Foundation, a non-profit fund established to administer the 70 million dollars received in restitution from PG&E for the 2010 pipeline explosion. Currently the foundation is in the start-up phase. First they will need to set up an investment strategy that will be approved by the City Council before the balance of the funds are released to the organization. They will be launching a community engagement and listening campaign at the end of this month. There will be three town hall meetings in May and June for the community to give input on how best to administer funds. They will then be developing a programmatic strategy and a grant making policy that will also go before the City Council for approval. They hope to be able to begin dispersing grants in 2016.

Commissioner Mishra: Asked if the foundation will be reaching out to Cappuccino High School or any other schools in the community. Also, asked if they will be setting up a Twitter Account for community outreach.

Leslie Hatamiya: The first Town Hall meeting will be a Cappuccino High School. The second will be at Belle Air Elementary School. They will also be conducting focus groups in order to reach a demographic they may not attend the Town Hall meetings, which will include one for teenagers and young adults.

Commissioner Petersen: Asked who decides which grants are selected.

Leslie Hatamiya: Ultimately it will be the decision of the foundation board.

Sharon Baum (Glenview Drive): Asked if the City Council would have to approve the distribution of grants.

Leslie Hatamiya: The grant making policy has to be approved by the City Council. The distribution of grants under that policy is decided by the foundation board.

Christine Price (Mills Avenue): Asked how the public will be informed about this.

Leslie Hatamiya: There will be a mailing to every San Bruno address at the end of this month.

6. Public Hearings

A. APN 019-043-490 (Caltrans Property at corner of San Bruno Avenue West and Glenview Drive)

Request for a Temporary Use Permit to allow off-site construction staging areas within the Crestmoor neighborhood per Section 12.84.030 of the San Bruno Municipal Code. City of San Bruno (Applicant); State of California (Owner) TUP-15-003.

Associate Planner Neuebaumer: Entered staff report.

Staff recommends that the Planning Commission approve Temporary Use Permit 15-003 based on Findings of Fact (1-3) and Conditions of Approval (1-13).

Questions for Staff

Commissioner Mishra: Asked if condition number 13 is the only added condition from previous approvals. Also asked if there were any neighborhood complaints.

Associate Planner Neuebaumer: There are no new conditions. Condition 13 is due to neighborhood concerns of weeds within the 45' setback.

Commissioner Biasotti: Asked if Church of the Highlands leases all 7.5 acres.

Associate Planner Neuebaumer: They lease the entire 7.5 acres.

Commissioner Petersen: Condition number 3 states: *The storage yard entryway on Glenview Drive shall be decomposed granite or other rock that will prevent soil tracking onto Glenview Drive.* It appears the entrance area is not within the 45' setback. Does staff contend that decomposed granite will prevent soil tracking.

Associate Planner Neuebaumer: Condition of approval number 11 allows for the entrance area to be within the 45' setback. They are using some type of granular material which is working to prevent soil tracking.

Public Comment Opened

Sharon Baum (Glenview Drive): Today on Glenview the dirt is being tracked along Glenview Drive. Asked if this area will be used for construction workers parking, how many workers will be in the area at one time. Neighbors are also concerned with speed limits being observed, dirt and dust tracking, and trash pick-up.

Open Planning Commission Discussion

Commissioner Mishra: In regards to conditions of approval #3 and #10 may be in conflict with NPDES regulation. Suggest staff modify the condition to whichever is more restrictive.

Commissioner Petersen: The conditions of approval associated with the 10 Crestmoor replacement homes approved at the last Planning Commission hearing addresses many of the

neighborhood concerns addressed by Ms. Baum.

Commissioner Biasotti: Clarifies that this item is in regards to the infrastructure improvements, as opposed to the construction of the new homes.

Motion to approve Temporary Use Permit 15-003 based on Findings of Fact (1-3) and Conditions of Approval (1-13).

Commissioner Petersen/Biasotti

VOTE: 6-0
AYES: All Commissioners present
NOES: None
ABSTAIN: None

FINDINGS OF FACT

1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050)
2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050)
3. Will not be inconsistent with the general plan. (SBMC 12.112.050)

CONDITIONS OF APPROVAL

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Temporary Use Permit 15-003 shall not be valid for any purpose. Temporary Use Permit 15-003 shall expire on May 20, 2016.
2. The request for a temporary construction staging area shall be operated according to written statement approved by the Planning Commission on April 21, 2015, labeled Exhibit C, except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
3. The storage yard entryway on Glenview Drive shall be decomposed granite or other rock that will prevent soil tracking onto Glenview Drive.
4. At all times, the storage yard gates shall be secured due to potentially high winds in the neighborhood.
5. The applicant shall maintain the construction staging area in a clean and orderly condition. Any trash, dirt, and debris shall be cleaned and removed on a daily basis and cannot be stored on-site.
6. The applicant shall not perform any maintenance of equipment at the subject site.

7. The applicant shall remove all equipment and materials and thoroughly clean the staging area and any immediate properties affected by dust or debris within 14 days of the contract notice of substantial completion.
8. Loose material storage shall be covered with a tarp except during construction hours of Monday to Friday from 8 am to 5 pm. Contractor shall use all best practices consistent with BAAQMD to minimize dust impacts to nearby residential properties.
9. The applicant shall repair any damage to the public right of way in the area used for construction staging at the end of construction.
10. The applicant shall comply with all best management practices for stormwater prevention as required by the National Pollutant Discharge Elimination System (NPDES) Permit.
11. For Storage Lot 2, the applicant shall maintain a minimum of a 45' setback from the residential properties along Estates Drive and a minimum of a 45' setback from the sidewalk along Glenview Drive except for required clearance at the driveway entrance. The applicant shall not utilize the setback area for unloading or as a secondary access to the staging area. Access shall be through the designated driveway on Glenview Drive.
12. The parking area at the corner of Glenview Drive and San Bruno Avenue shall remain available for residents that use the nearby trail and for Church of the Highlands.
13. The applicant shall be responsible for keeping the 45' setback areas clear of weeds and debris and maintained in a fire safe manner.

B: 1701 Earl Avenue

Request for a Temporary Use Permit to allow an off-site construction staging area within the Crestmoor neighborhood per Section 12.84.030 of the San Bruno Municipal Code. Castle Companies, Inc. (Applicant), City of San Bruno (Owner) TUP-15-001.

Associate Planner Neuebaumer: Entered staff report.

Staff recommends that the Planning Commission approve Temporary Use Permit 15-001 based on Findings of Fact 1-3 and Conditions of Approval 1-18.

Questions for Staff

Commissioner Petersen: Condition number 15b refers to a "hard duty feeder cable." Asked for definition of "hard duty feeder cable."

Associate Planner Neuebaumer: This condition was included at the request of the Building Official. It runs from temporary electric power pole to the construction trailer.

Commissioner Biasotti: Asked if there is a more attractive screening material, as opposed to the proposed green fabric material, that can be used on the fence.

Commissioner Petersen: Upon conducting internet research and a site inspection on alternative

screening material, found inexpensive potted Cypress trees.

Associate Planner Neuebaumer: Staff is supporting the screening as proposed, since this is a temporary construction staging area that would be on site for approximately one year.

Commissioner Johnson: Noted the high winds prevalent in the Crestmoor neighborhood and any screening material will need to take that into consideration.

Commissioner Petersen: Asked for a valuation on the ten replacement homes.

Associate Planner Neuebaumer: Staff does not have any information on the valuation, but the applicant will be available to answer the question during public comment.

Dan Boatwright (Castle Companies): Appreciates the cooperative relationship with staff, the Architectural Review Committee, and the Planning Commission. They are agreeable to all of the Conditions of Approval. There will be a telephone number posted on site that the neighbors can call when and if concerns arise.

Commissioner Petersen: Noted the high quality of the presentation and the homes. Asked that they consider landscaping for the site office.

Dan Boatwright (Castle Companies): The challenge with landscaping is the continued required maintenance.

Public Comment Opened

Sharon Baum (Glenview Drive): Concerned about traffic, parking, and other issues previously mentioned.

Public Comment Closed

Open Commission Discussion

Motion to approve Temporary Use Permit 15-001 based on Findings of Fact 1-3 and Conditions of Approval 1-18.

Commissioner Petersen/Mishra

VOTE: 5-0
AYES: All Commissioners present
NOES: None
ABSTAIN: None

Findings of Fact

1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050)
2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050)
3. Will not be inconsistent with the general plan. (SBMC 12.112.050)

CONDITIONS OF APPROVAL

Community Development

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Temporary Use Permit 15-001 shall not be valid for any purpose. Temporary Use Permit 15-001 shall expire one (1) year from the date of Planning Commission approval.
2. The signed copy of the Summary of Hearing shall be photocopied and included on a full size page in the Building Division set of drawings.
3. The request for a Use Permit shall be operated and built according to plans approved by the Planning Commission on April 21, 2015, labeled Exhibit C, except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. Hours of construction shall be limited to 8:00 am – 6:00 pm, Monday through Friday. All construction related activities, including set up, staging, deliveries, etc. shall not occur before 8:00 am or after 6:00 pm Monday through Friday. The operation of any equipment or performance of any outside construction related to the ten replacement homes shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 8:00 a.m. to 6:00 p.m. Community Development Director approval shall be required to deviate from the approved hours of construction.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. Prior to securing a building permit, the applicant, owner, and general contractor shall participate in a pre-construction meeting with Planning and Building staff to ensure compliance with the conditions of approval during the construction process.
7. At all times, the storage yard gates shall be secured due to potentially high winds in the neighborhood.

8. The applicant shall maintain the construction staging area in a clean and orderly condition. Any trash, dirt, and debris shall be cleaned on a daily basis.
9. The applicant shall remove all equipment and materials and thoroughly clean the staging area and any immediate properties affected by dust or debris within 30 days after the last Certificate of Occupancy has been issued, or by the end of the allowed one year Temporary Use Permit period, whichever comes first.
10. The applicant shall not perform any maintenance of equipment at the subject site.
11. Loose material shall be covered with a tarp, except during construction hours of Monday to Friday 8:00 am to 6:00 pm. Contractor shall use all best management practices consistent with BAAQMD to minimize dust impacts to nearby residential properties.
12. The City is planning to replace curb, gutter, sidewalk, and construction of new roadways on frontages adjacent to homes within the Crestmoor neighborhood. This work in most likelihood would not be complete until after the completion of the ten single family replacement homes. In the event the applicant damages the existing curb, gutter, sidewalk, driveway approaches, or the existing roadway, the applicant shall reconstruct in a temporary manner to the satisfaction of the City Engineer.
13. The applicant shall comply with all best management practices for stormwater prevention as required by the National Pollutant Discharge Elimination System (NPDES) Permit.
14. The applicant shall install a 6'-0" high chain-linked fence surrounding the staging area. The fence shall be located at least 3'-0" in the easterly direction from the shared property line between 1701 & 1711 Earl Avenue. The fence shall also be installed in a manner to maintain adequate site distance at the corner of Earl Avenue and Glenview Drive.
15. The applicant shall provide the following information regarding the construction office at the time of building permit submittal:
 - a. Provide and show foundation plan with details of methods and materials for temporary foundation. Provide all State approval documentation including approved seismic and wind tie down system.
 - b. Clearly show the location of the main electrical panel. Specify hard duty feeder cable to temporary electrical power pole.
 - c. Provide and show conforming stairway access and handrails.
 - d. Clearly specify that no plumbing fixtures are proposed within the manufactured building installation.
 - e. The proposed manufactured building and branch circuits shall be bonded and grounded. Provide a single line drawing with panel schedule including (GEC) to driven ground rod. A continuity test shall be performed for all receptacles.
16. Address numbers for the property shall be mounted on the exterior of the fence by the entrance and be at least 6" high on a contrasting background, easily visible from the street. The address numbers shall be visible at night.

17. The applicant shall provide emergency contact information to the Police Department and list personnel that will be able to respond to the location 24 hours a day and seven days a week, if a problem arises.
18. All construction materials and supplies shall be located on the subject site behind the 6'-0" fence. No construction material or supplies shall be left outside the storage area or on the street.

C – Review of 2015-2023 Housing Element

Request Consideration of an Ordinance to Amend Title 12 Land Use of the San Bruno Municipal Code to Add an Emergency Shelter Overlay District to Allow Emergency Shelters for the homeless as a Permitted Use within a portion of the M-1 Industrial Zoning District, Subject to Design and Performance Standards.

Long Range Planning Manager Sullivan: Entered staff report.

Staff recommends that the Planning Commission adopt Resolution No. 2015-03 (Exhibit B), based on Findings of Fact 1-3, recommending that the City Council adopt an Ordinance amending Title 12 (Land Use) of the San Bruno Municipal Code to implement Program 6-D in the City's 2009-2014 Housing Element to make the following changes:

1. A General Plan text amendment revising the Industrial Land Use designation to include emergency shelters as a permitted use within an Emergency Shelter Overlay Zone; and
2. Amend Chapter 12.80 (Definitions) to add a definition for Emergency Shelters, to comply with the definitions found in State law and to conform to the requirements of Government Section Code 65583; and
3. Amend Sections 12.96.010 (Established) to add "ES Emergency Shelter Overlay District" and 12.96.150 (Land Uses for M-1 Industrial District) to add Emergency Shelters for the homeless as a permitted use in the Emergency Shelter Overlay District; and
4. Add Section 12.96.205 (Emergency Shelter Overlay) to Title 12 (Land Use) of the San Bruno Municipal Code to allow emergency homeless shelters as a permitted use subject to performance and design standards.

Questions for Staff

Commissioner Mishra: Asked if the current Municipal code allows for liquor stores in the area. Additionally, asked if staff would include a condition to allow for Closed Circuit Television on sites that are developed with a shelter. Also, asked if there is a regulation on the distance between shelters.

Long Range Planning Manager Sullivan: Current code does not allow liquor stores in the area. A condition requiring CCTV can be added. The maximum number of beds is 32, to meet the identified need in San Bruno. Generally, cities require a 300 foot radius between shelters.

Commissioner Biasotti: Exhibit A shows the M1 district and TOD district. Clarified two items: 1. In making the decision tonight, the commission will be eliminating the TOD district for the potential siting of an Emergency Shelter. 2. The total number of beds provided would be 32.

Commissioner Petersen: Staff handed the Commission a packet of communications dating from April 13. Inquired as to why they were not included in the Commission packet.

Commissioner Biasotti: Asked for a few minutes to review the communications.

Open Public Comment

Christine Price (Mills Avenue): The community is confused by the notice which stated that the Planning Commission would consider the TOD as an alternative to M1. Wanted a record showing the TOD was not being considered.

Commissioner Biasotti and Staff confirmed that the TOD is not being considered.

Nick Grasso (Masson Avenue): Would like to go on record that the TOD or Commercial Zone is not appropriate for a shelter. The majority of the police calls in the Downtown Business District are related to the homeless. He feels that a shelter would attract more homeless to San Bruno.

Eris Raxton (Montgomery Avenue): As a longtime resident and small business owner in San Bruno, he has observed the disappearance of opportunity for small businesses. He is concerned that this type of zoning would diminish those opportunities for small businesses.

Christopher Blancarte (Kains Avenue): Asked if the 32 beds included the 10 beds currently provided at St. Bruno's Church. These two neighborhoods take the impact of the homeless people. Asked them consider another location.

Long Range Planning Manager Sullivan: San Bruno identified a need for an additional 32 beds over the 10 provided at St. Bruno's Church.

Von Gregory (Green Avenue): This neighborhood has withstood impact from the homeless for a number of years with homeless people living in Forrest Lane Park.

Shirley Allen (Mills Avenue): This area has been overly impacted for a number of years with BART and Caltrain construction.

Chair Johnson: Reaffirmed that the Commission has reached a point where a decision, while difficult, must be made in order to move forward with the Housing Element. Asked Mr. Sullivan to address some of the requirements of the state law.

Long Range Planning Manager Sullivan: The State Law is written in such a way to distribute the responsibility throughout the county. The homeless count includes sheltered homeless and unsheltered homeless. The idea is to accommodate the unsheltered homeless in each community. San Bruno's share is 32 out of the 1300 in San Mateo County. Reaffirmed that this is not a requirement to build homeless shelters. A great deal of the funding is being devoted to treatment and support services, particularly to military veterans. In fact, the number of veterans on the street has declined dramatically in the last few years. Adopting this ordinance does not mean a shelter will be built, it only allows for a shelter to be built if one is proposed. No shelters have been built in the County in the past five years.

Commission Discussion

Commissioner Mishra: Would like to add a condition for a provision for closed circuit television for security purposes on any proposed facilities.

Commissioner Sammut: Does not like the location. It is not appropriate for a shelter of any kind. The location is not close to transportation or schools. Homeless people are not all undesirable people, they just may be out of a home for whatever reason. He will not be voting for this location.

Commissioner Petersen: He will be voting for this because the State of California is essentially holding our Housing Element hostage until this is approved. He does not believe that a shelter will be built in the immediate or even more distant future.

Motion that the Planning Commission adopt Resolution No. 2015-03 (Exhibit B), based on Findings of Fact 1-3, recommending that the City Council adopt an Ordinance amending Title 12 (Land Use) of the San Bruno Municipal Code to implement Program 6-D in the City's 2009-2014 Housing Element to make the following changes:

- 1. A General Plan text amendment revising the Industrial Land Use designation to include emergency shelters as a permitted use within an Emergency Shelter Overlay Zone; and**
- 2. Amend Chapter 12.80 (Definitions) to add a definition for Emergency Shelters, to comply with the definitions found in State law and to conform to the requirements of Government Section Code 65583; and**
- 3. Amend Sections 12.96.010 (Established) to add "ES Emergency Shelter Overlay District" and 12.96.150 (Land Uses for M-1 Industrial District) to add Emergency Shelters for the homeless as a permitted use in the Emergency Shelter Overlay District; and**
- 4. Add Section 12.96.205 (Emergency Shelter Overlay) to Title 12 (Land Use) of the San Bruno Municipal Code to allow emergency homeless shelters as a permitted use subject to performance and design standards. recommend that the San Bruno City Council approve the Initial Study/Negative Declaration (IS/ND) (State Clearinghouse #2014122066) for the 2015-2023 Housing Element Update and adopt the updated Housing Element of the General Plan (dated March 2015) as a General Plan Amendment (GPA15-002), pursuant to Article 10.6 (Sections 65580-65589.8) of the**

California Government Code.

Commissioner Mishra/Petersen

Vote: 4-1

AYES: Chair Johnson, Commissioners Petersen, Biasotti, Mishra
NOES: Sammut
ABSTAIN: None

7. Discussion

A. City Staff Discussion:

Volunteers for the May 14th ARC meeting: Commissioners Sammut and Biasotti identified. Staff will need to contact Commissioner Chase.

B. Planning Commission Discussion:

Commissioner Petersen: Reiterating that it is un-businesslike to continue without a seventh Planning Commissioner. He would like staff to do whatever possible to expedite filling the vacant seat.

Commissioner Sammut: The sub-committee for the process for filling the vacant Commission seat is underway. Additionally, wanted to ask staff about the Pine Trees on Huntington that he mentioned previously. There are a number of trees along San Antonio that are dead and are in need of removal.

Commissioner Biasotti: Thanked Mark Sullivan for his hard work on the Emergency Shelter Ordinance.

8. Adjournment

Meeting was adjourned at 8:50 pm

David Woltering
Secretary to the Planning Commission
City of San Bruno

Mary Lou Johnson, Chair
Planning Commission
City of San Bruno

NEXT MEETING: May 19, 2015



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San Bruno, CA 94066
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STAFF

David Woltering, AICP, *Community Development Director*
Mark Sullivan, AICP, *Long Range Planning Manager*
Matt Neuebaumer, *Associate Planner*
Brian Millar, AICP, *Contract Senior Planner*
Paula Bradley, AICP, *Contract Associate Planner*
William Chiu, *Contract Assistant Planner*
Marc Zafferano, *City Attorney*

PLANNING COMMISSION

Mary Lou Johnson, *Chair*
Kevin Chase, *Vice Chair*
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Perry Petersen
Joe Sammut

**PLANNING COMMISSION
STAFF REPORT
AGENDA ITEM NO. 5.A
May 19, 2015**

PROJECT LOCATION

1. Address: 3189 Moreland Drive
2. Assessor's Parcel No: 017-513-310
3. Zoning District: R-1 (Single Family Residential)
4. General Plan Classification: Low Density Residential

EXHIBITS

- A:** Site Location
- B:** Photographs
- C:** Site Plan, Floor Plans, Roof Plan, Elevations, Preliminary Landscape Plan,
- D:** Colors and Materials

REQUEST

Request for a Use Permit to exceed the maximum permitted floor area allowed of 3,686 square feet; a Use Permit to exceed the 35% lot coverage requirement (36%), and a Use Permit to exceed the maximum allowed garage size of 600 square feet, according to Sections 12.200.030.A.1, 12.200.030.A.2, and 12.200.080.B, respectively, of the San Bruno Municipal Code.
Sky Uotani, KB Designs (Applicant), Angel W. Hong (Owner) **UP-15-002.**

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit 15-002 based on Findings of Fact 1-6 and Conditions of Approval 1-37.

REVIEWING AGENCIES

Community Development Department
Public Services Department
Fire Department

ENVIRONMENTAL ASSESSMENT

This project is Categorically Exempt according to the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15303: New construction of a Single Family Residence.

PROJECT HISTORY AND EXISTING CONDITIONS

The subject property is located to the northeast of Moreland Drive in the Portola Highlands Number Six Subdivision. This proposed project involves the construction of a new, 3,980 square foot single-family residence on two levels, including a 707 square foot two-car garage. The lot is generally

rectangular in shape, with the boundary along Moreland Drive creating two side property lines. The rear property line abuts Skyline Boulevard to the northeast and will be screened by the existing eucalyptus trees. The lot is currently vacant, although there was a previous Use Permit (UP-09-014) granted for a single-family residence on this property. There was some previous foundation excavation work as well as piers partially set into the slope, but the project was abandoned and the permit since expired.

ADDITIONAL INFORMATION

- **Code Enforcement:** There are no active code enforcement cases.
- **Easements:** There is a 5'-0" Public Utility Easement located along the front property line. Along the rear property line, next to the Skyline Boulevard property, are ten-foot and six-foot wide private storm drain easements. There is a five-foot wide private storm drain easement along the southwest side property line. There is also a 15-foot wide tree preservation easement along the northeast/rear property line where the eucalyptus trees are located. Along the edge of the rear property line is 15-foot a City-owned sanitary sewer easement.
- **Heritage Trees:** There are no heritage trees located on the property.

SURROUNDING LAND USES

West: Longview Drive – R-1 (Single Family Residential)

Northeast: Skyline Boulevard – State Highway

Southwest: Yuba Court – R-1 (Single Family Residential)

PROJECT DESCRIPTION

The applicant is proposing to construct a new 3,980 square foot home on two levels, including a 707 square foot two-car garage, on a 14,577 square foot vacant lot. The entry and second floor are at the street level, appearing as a one-story home, with the ground floor below built into the hillside. The rear of the property to the northeast abuts Skyline Boulevard and will be screened by the existing eucalyptus trees. No trees are proposed to be removed. The proposed residence meets the setbacks and height requirements of the zoning district. The proposed residence would exceed the 35% lot coverage allowed by 131 square feet; exceed the 2,949 square foot floor area allowed by 294 square feet; and exceed the allowed garage area of 600 square feet by 107 square feet. If approved and constructed, this would be a four-bedroom, three and one-half bathroom home.

The site design will include a three-foot high wood horizontal slatted fence with stucco (off-white) posts design along the front property line. The front entry is designed with metal fencing combined with stucco finish walls, metal gate and planters. The front entry walkway from the street is separate from the driveway and both the driveway, front walkway and patio areas will have special pavers. The front door entry is set back three feet from the front wall plane and includes a gable roof. The front driveway and entry area will be paved with tan charcoal concrete decorative pavers. Two three-foot retaining walls are proposed in the rear yard, to be constructed of tan stacked concrete bricks.

Project details are shown in the following table:

SITE CONDITIONS		ZONING REQUIREMENTS	EXISTING CONDITIONS	PROPOSED CONDITIONS
Land Use		R-1	R-1	Same
Lot Area		5,000 s.f.	14,577 s.f.	Same
Lot Coverage		2,949 (35%)	NA	3,080 (36%)
Gross Floor Area		3,686 s.f.	NA	3,980 s.f.
Floor Area Ratio		0.436	NA	0.47
Building Setbacks	Front	15'-0"	NA	23'6"
	Rear	10'-0"	NA	40'
	R Side (2)	5'-0"	NA	5'3" and 39'3"
	L Side	5'-0"	NA	8.0'
Building Height		26'-0"	NA	19'
Covered Parking		2 spaces	NA	2 spaces

Notes:

- Use Permit required for exceeding the 35% lot coverage requirement.
- Use Permit required for exceeding the maximum floor area.
- Use Permit required for exceeding 600 s.f. maximum garage area.

Square Footage Breakdown:

	1 st Level	2nd Level	Garage	Total
Total	1,642	1,631	707	3,980

Notes:

- 3,272 s.f. living area proposed, with 707 s.f. two-car garage.

The exterior materials and colors for the second-floor body of the residence will be a combination of light gray color stucco with cedar color wood siding on separate wall planes. The ground floor and rear elevation will be dark gray stucco. The proposed colors are considered harmonious with adjacent homes and the applicant toned down the proposed white front wall color in response to staff's recommendations. All windows will be vinyl clad wood with dark gray color frames and wood trim. Both the sides and the rear two-story elevation wall planes are broken up by offsets and a horizontal roof separating the two stories. Second floor articulation to decrease the mass and bulk includes stepped-back elevations, varied roof forms, windows and second floor decks. Decks on the west and southeast (rear) elevations will be wood to match the cedar wood siding with tempered glass panels for railings. A variety of quality materials will be utilized including wood siding, wood garage doors, glass deck panels, and a clay tile roof.

The roof facing Moreland Drive will be a hip roof form with cross gable roofs on the sides and rear elevations. The neighboring three homes are predominantly gable roof forms; however, the proposed roof form is compatible with the adjacent homes and with the character of the area. The roof has a 4:12

pitch over the living area and a 3.25:12 pitch over the garage with 18 inch eaves. Three skylights in the roof are proposed.

PUBLIC COMMENT

Staff sent a legal notice to all property owners within 300’ of the subject site on May 8, 2015. No comments have been received as of the writing of this report.

ANALYSIS AND RECOMMENDATION

Analysis:

The applicant is proposing to construct a new 3,980 square foot home on two levels, including a 707 square foot two-car garage, on a 14,577 square foot vacant lot. The proposed residence meets the setback and height requirements of the zoning district. The front setback is 23’6” where fifteen feet is required. The rear yard area setback is 39’3” from the property line. The height is 25’-4” feet based on the average level of the highest and lowest portion of the lot covered by the structure, where 26’-0” is the height limit. From the lowest to highest point, not considering average, the height is 26 feet at the street elevation and 38 feet at the rear elevation. Landscaping proposed is 31.5% of the total lot area where 15% is required. A Use Permit is required as the floor area exceeds the 35% lot coverage requirement, and it exceeds the 2,949 square foot floor area allowed. A Use Permit is also required for the garage which exceeds 600 square feet.

The proposed floor area exceeds the maximum allowed of 3,686 square feet (0.43 FAR) by 294 square feet, which corresponds to a 0.47 FAR. This would be a larger home on a large steep lot and is designed to minimize the bulk and mass of the home by stepping the ground floor level into the hillside. The home will appear as one-story from the street and the front driveway slopes 10% into the site, further decreasing the mass as viewed from Moreland Drive. The site is sloped 34%, therefore the lot coverage allowed is less than for a flat lot. The lot to the northwest is similarly steeply sloped with the lower story of the home stepped into the hillside. The two-story rear elevation of the home won’t be visible from Skyline Boulevard as it will be screened by the existing grove of eucalyptus trees. The rear property line includes a 15-foot Tree Preservation easement along Skyline Boulevard and no trees will be removed.

A summary of the lot size, floor area and lot coverage, both the maximum allowed and the approximate floor areas (according to the San Mateo County Assessor’s Office records) are presented in the following table:

APN	Address	Lot Size (s.f.)	Adj. Lot size (s.f.)	Max FAR	Max Floor area (s.f.)	Total floor area (s.f.)	FAR	Max Lot Coverage	Max Lot Coverage
017-513-320	3199 Moreland	12,420	7,700	44%	3,357	2,962	39%	2,686	35%
017-513-310	3189 Moreland	14,577	8,455	44%	3,686	3,980	47%	3,080	36%
017-513-300	3179 Moreland	5,498	5,333	55%	2,933	2,950	55%	2,347	44%
017-513-290	3169 Moreland	12,818	7,819	41%	4,300	3,180	41%	3,440	44%
017-513-280	3159 Moreland	8,694	6,868	55%	3,776	3,380	49%	3,022	49%

Although the proposed floor area and lot coverage (in bold) exceed the maximums allowed without the approval of a use permit, they are similar to the floor area and lot coverage of the adjacent properties in this five-lot subdivision and the homes in the neighborhood are generally large two-story homes on large lots.

Proposed is lot coverage of 36% where a maximum of 35% is allowed. Staff finds that with the additional 131 square feet, there would still be a relatively large amount of useable yard area with a front setback of 23.6 feet, a 40-foot rear setback and one of three side setbacks is 39'-3" feet. The lot coverage includes 731 square feet of second story decks (there is a small ground floor deck of 97 square feet covered by the upper deck) the 707 square foot garage. The landscaping area currently exceeds the Municipal Code requirement with 31.5% proposed where 15% is required.

The adjacent homes and homes in the neighborhood are large two-story homes. Across the street is a steep slope covered with brush and eucalyptus trees, the rear property line of the homes on Longview Drive above, barely visible through the trees. On the subject section of Mooreland Drive where the proposed home will be located, are only three homes on irregularly-shaped, large parcels. Homes on nearby Yuba Court and Longview Drive are large, two-story homes on large rectangular generally uniform lots in the style of tract subdivisions built in 1960's.

Two lots to the southwest and the southeast are developed with two-story single family dwellings as is the lot to the northwest. The adjacent homes on two sides have non-conforming side setbacks of less than five feet and there is no uniform lot shape or front setback. The placement on the site of the subject home is offset from the sides of these two neighboring homes. The proposed residence has no windows on the elevation facing the residence to the northwest, where there are windows more than ten feet from the property line. The home to the southeast has no windows on the side elevation, ten feet from the side property line and adjacent to the proposed second floor deck.

The garage area is actually 595 square feet but with the two storage areas and area for recycling and potentially a motorcycle parking space within the angled wall corner of the garage, it exceeds the maximum garage size of 600 square feet by 107 square feet. The garage door is side loading to minimize the prominence of the garage. Due to this and the orientation of the lot, the garage doors will not be highly visible from the street. The garage doors will be cedar color wood as is the third center-opening third door.

Staff finds that the proposed residence is compatible with the character and design of the surrounding single-family dwellings and is consistent with the Residential Design Guidelines. The design minimizes the bulk and mass of the home and will appear as a one-story home from the street. Both the sides and the rear two-story elevation wall planes are broken up by offsets and a horizontal a roof separating the two stories. The second floor treatment incorporates articulation to decrease the mass and bulk including stepped-back elevations varied roof forms, windows and second-floor decks. On the rear elevation, the second floor is stepped back three feet on more than 50% of the elevations. A variety of quality materials are utilized including wood siding, wood garage doors, and a clay tile roof. The roof facing Moreland Drive has a hip roof form with cross gable roofs on the sides and rear elevations. The adjacent three homes are predominantly gable roof forms; however, the proposed roof form is considered compatible with the adjacent homes and the character of the area. The garage door is side loading to minimize the prominence of the garage. The second floor treatment incorporates articulation to decrease the mass and bulk is provided by stepped-back elevations varied roof forms, windows and second floor decks. The design includes a defined front entry in proportionate scale to the residence and neighboring homes.

Originally, the applicant proposed to exceed the maximum impervious surface area allowed (60%) but revised the plans to conform to the requirement (proposed is 55.7%). A proposed six-foot fence with

gated entry along the front property line was required to be lowered to three-feet high, the maximum allowed in the front yard setback. Additional windows and additional wood siding were integrated into the design to add more articulation and visual interest at staff's recommendation. Garage door details include cedar color wood with lights, and the third door was stepped back three feet from the front facade.

Architectural Review Committee

The Architectural Review Committee (ARC) reviewed the architectural elements of the home at its April 16, 2015 meeting. The ARC forwarded the project to the Planning Commission with the following staff and ARC recommendations:

- Correct the height shown on the plans.
- Present the deck railing type that the applicant would like to propose.

Since the ARC review meeting, the applicant decided to propose a different style of wood garage door. The new design is the same wood and color with lights, but it no longer has the arched detail at the top. Staff believes the garage door style is complementary to the style of the home which had no other curved elements. The applicant also decided to propose clear tempered glass panels for deck railings. Glass panels are clear, so they do not visually stand out or block the elevations of the home and are a high quality material and consistent with the architectural style.

Findings:

*Pursuant to the City's Municipal Code, the Architectural Review Committee shall grant the Use Permit if it makes the following findings. Required findings are in **bold** followed by staff's analysis of the merits of the project and how the findings can be made.*

- 1. Will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use. (SBMC 12.112.050.B.1)**

With the condition that the applicant obtain a building permit prior to construction, the home would be constructed according to the California Building Code (CBC) and, therefore, would not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood.

- 2. Will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city. (SBMC 12.112.050.B.2)**

The architectural design, scale and features of the project are compatible with the surrounding neighborhood. The project meets the setbacks, and height requirements of the zoning district. With the proposed lot coverage of 36% and a floor area of 47% there would still be a relatively large amount of yard area with a front setback of 23'-6", a 40-foot rear setback and one of three side setbacks is 39'-3". The front setback is 23'6" where fifteen feet is required. The landscaped area proposed exceeds the Municipal Code requirement. The home is designed to appear as one-story from the street with the ground floor stepped into the hillside. The adjacent three homes are predominantly gable roof forms; however, the proposed roof form is considered compatible with the adjacent homes and the character of the area. A variety of quality materials are utilized including: wood siding; wood garage doors; glass deck panels; and a clay tile roof, and the colors are harmonious with the neighborhood. The proposal would benefit the City and the surrounding neighborhood by constructing a new home on a vacant, infill-lot in a well-designed manner and by its conformance to all of the development regulations as set forth in the

Municipal Code. Therefore, staff determines that the project would not be detrimental to improvement in the neighborhood or to the general welfare of the City.

3. That the proposed development is consistent with the general plan. (SBMC 12.108.040.H)

The San Bruno General Plan designates the property as a Low-Density Residential district. The existing single-family dwelling is consistent with the General Plan designation.

General Plan Policy LUD-3 states, “protect the residential character of established neighborhoods by ensuring that new development conforms to surrounding design and scale.” The proposal would be complementary to other single-family homes in the area. The design of the project reinforces the residential character of the neighborhood.

4. That the proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood. (SBMC 12.108.040.D)

The proposed two-story residence meets the setbacks and height requirements of the zoning district. The front setback is 23'-6" feet where fifteen feet is required. With the proposed is lot coverage of 36%, a floor area of 47%, and a 707 square foot garage, there would still be a relatively large amount of useable yard area with a front setback of 23'-6", a 40-foot rear setback and one of three side setbacks is 39'-3". The second floor treatment incorporates articulation to decrease the mass and bulk including stepped-back elevations varied roof forms, windows and second-floor decks. On the rear elevation, the second floor is stepped back three feet on more than 50% of the elevations. The impervious surface area in the front setback conforms to the required maximum allowable of 60%. The height is 25'-4" where 26'-0" is the height limit. Therefore, the structure should not unreasonably restrict or interfere with light and air on the adjacent properties. The overall design and scale of the home is consistent with the neighborhood, which consists primarily of two-story homes.

5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood. (SBMC 12.108.040.G)

The applicant proposes to construct a new 3,980 square foot single-family home with a 707 square foot garage on two levels, on a large, vacant, steeply slopped lot. The design will minimize the bulk and mass of the home and will appear as a one-story home from the street. Both sides and the rear two-story elevation wall planes are broken up by offsets and a horizontal a roof separating the two stories. The second floor treatment incorporates articulation to decrease the mass and bulk including stepped-back elevations, varied roof forms, windows and second floor decks. A variety of quality materials are utilized including wood siding, wood garage doors, glass deck panels and a clay tile roof. The roof facing Moreland Drive has a hip roof form with gable roofs on the sides and rear elevations and is considered compatible with the neighboring homes and the character of the neighborhood. The garage door is side loading to minimize the prominence of the garage. The design includes a defined front entry in proportionate scale to the residence and neighboring homes. Staff finds that the general appearance of the residence would be in keeping with the neighborhood and would not be detrimental to the City.

6. That any proposed single-family or two-family dwelling conforms to the basic design principles of the residential design guidelines as adopted by resolution by the city council and as may be revised from time to time. (SBMC 12.108.040.1)

Staff finds that the new home conforms to the basic design principles of the Residential Design Guidelines. The proposed residence would respect the scale, bulk, and character of the immediate neighborhood and adjacent homes. It incorporates second floor treatment articulation to decrease the mass and bulk by stepped-back elevations varied roof forms, windows and second floor decks. The design utilizes a variety of consistent construction materials throughout including wood siding, wood garage doors and a clay tile roof. The project maintains both building and roof forms common to other two-story homes throughout the neighborhood.

RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit 15-002 based on Findings of Fact 1-6 and Conditions of Approval 1-37. Staff's recommendations have been incorporated into the project.

Findings of Fact

1. That the proposed home, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood.
2. That the proposed homes will not excessively damage or destroy natural features, including trees, shrubs, creeks and rocks, scenic corridors, and the natural grade of the site.
3. That the general appearance of the proposed buildings, structures, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood.
4. That the proposed home are consistent with the general plan.
5. That the proposed homes conform to the basic design principles of the residential design guidelines adopted by resolution by the City Council and as may be revised from time.

CONDITIONS OF APPROVAL

Community Development Department

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Community Development Department within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 15-002 shall not be valid for any purpose. Use Permit 15-002 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.

2. The signed copy of the Summary of Hearing shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit to construct a new 3,980 square foot home on two levels, with a 707 square foot garage shall be built according to plans approved by the Planning Commission on May 19, 2015, labeled Exhibit C except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The home shall be used only as a single-family residential dwelling unit. No portion of any residence shall be rented out as a secondary residential dwelling unit. The rental of a room does not qualify as a secondary dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the California Building Code. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance. This condition of approval shall be disclosed at the point of sale to the consumer and shall be recorded against each property.
8. Prior to securing a building permit, the applicant, owner, and general contractor shall meet with Planning, Building, and Public Services staff to ensure compliance with the conditions of approval during the construction process.
9. FAA notification and approval is required prior to building permit issuance. Alternatively, the City has established an exemption form, which may be submitted to the City in-lieu of FAA notification.
10. The landscaping plans shall be consistent with the preliminary landscaping plans approved by the Planning Commission on May 19, 2015. Prior to Final Inspection, the site shall be landscaped according to the approved landscaping plans. Any changes to the approved landscaping plans shall require review and approval from the Community Development Director.
11. Planting of one 36-inch box size approved tree or payment to the in-lieu replacement tree fund per most current fee schedule is required. Tree shall be located on adjacent lot frontage per SBMC 8.24.060. At the current rate, the impact payment required is \$540. A separate tree-planting permit is required from Parks Division for any new street tree.
12. The applicant shall indemnify, defend, and hold harmless the City, its officers, employees and

agents, from any and all claims and lawsuits from third party(s) involving or related to the City's consideration and/or approval of the applicant's application to construct ten single-family replacement homes.

Public Services

13. The front property line is located 3.5 feet behind the sidewalk at 3189 Moreland Drive. No fences, retaining walls, or other permanent structure shall be placed or constructed within 3.5 feet from the back of sidewalk along 3189 Moreland Drive. S.B.M.C. 8.08.010.
14. The building permit plans shall include a site plan that shows all property lines, setbacks and easements, and all existing and proposed grading and drainage improvements. All unpaved areas shall be graded to slope at 1% or more. All paved areas shall be graded to slope at 0.5% or more. All grading and drainage work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.
15. Show on the plans flow line diagrams for cold water lines, hot water lines, gas lines, and sanitary sewer lines to include all existing and proposed systems in accordance with the California Building Code 2013.
16. The Applicant shall identify the proposed tie-ins into the City's water, sewer, and storm distribution system. The City will review and determine if improvements to the City's infrastructure is required in order to accommodate the project. The Applicant shall be solely responsible for any costs associated with the necessary infrastructure improvements.
17. The applicant shall install a sanitary sewer lateral clean out at property line per City Standards Detail SS-02, dated Aug 2011.
18. Planting of one 36-inch box size approved tree or payment to the in-lieu replacement tree fund per most current fee schedule is required. Tree shall be located on 3189 Moreland Drive per SBMC 8.24.060. At the current rate, the impact payment required is \$540. A separate tree-planting permit is required from Parks Division for any new street tree.
19. All damaged curb, gutter, sidewalk or driveway in the public right-of-way fronting the property shall be removed and replaced. Remove and replace all damaged and/or broken sidewalk at front of property for all locations where there are any raised or offset concrete sections greater than or equal to ¾-inch. S.B.M.C. 8.12.010.
20. Prior to final inspection, paint the address number on face of the curb near the driveway approach with black (4 inch or larger) lettering on a white background. Add a note showing the location where the street address will be painted.
21. Obtain an Encroachment Permit from Public Works Department prior to commencing any work within the City's public right-of-way. S.B.M.C. 8.16.010. The Encroachment Permit shall be issued prior to issuance of a building permit.
22. An erosion control plan and storm water pollution prevention plan is required. The applicant shall show existing storm drain inlets and other storm water collection locations protected by silt

screens or silt fence. The work shall conform to the current NPDES requirements. S.B.M.C. 12.16.020.

23. Show on plans how storm water shall be collected from downspouts and other on-site drainage and drained into landscaping or collected through an under sidewalk curb drain to the gutter per City Standard Detail ST-03. Foundations shall be protected from storm water. Drainage into adjacent properties shall not be allowed. Indicate any pipes, swales, or applicable ground percolation treatments as necessary.
24. Should the project create and/or replace 2,500 square feet or more of impervious surface, the project must include one of the required C.3.i site Design Measures as required by the Municipal Regional Permit. A C.3.i. Checklist must also be completed and submitted for review.
25. Perform a water demand calculation based on the requirements in Chapter 6 of the California Plumbing Code. Applicant shall pay water and sewer capacity charges based on the size of the water meter installed along with materials and installation of a new water meter. S.B.M.C. 10.14.020/110. Indicate on the plans the proposed location of the water meter.

Building Department

26. Add: "2013 California Green Building Standards Code to list of Applicable Building Codes on Cover sheet. All Mandatory Measures per Chapter 4 shall apply."
27. A height conformance survey shall be required prior to obtaining approval for roof cover. (Licensed Land Surveyor shall conduct verification and provide formal results).
28. Sleeping rooms (bedrooms) shall provide emergency egress openings conforming with 2013 CRC Chapter 3, Section R310.
29. Natural light and ventilation is required in all habitable rooms, a minimum 8% natural light, 4% natural ventilation. Provide for Library/den.
30. An Automatic Fire sprinkler system conforming with NFPA 13D shall be installed in accordance with 2013 CRC Section R313.
31. A minimum Class B roofing material is required.
32. Recommended: Installation of one dedicated 40A, 240V branch circuit with single receptacle installed in the garage for future Electric vehicle charging station.
33. Newly constructed residential dwellings shall conform with 2013 California Energy Efficiency Standards in accordance with section 110.10.
34. The home shall be constructed so that it is solar ready.
35. The applicant shall submit a geotechnical/soils investigation report at the time of building permit submittal. The geotechnical/soils investigation report shall provide data to evaluate the geotechnical conditions of the site and provide seismic, landslide and mudslide evaluation, and

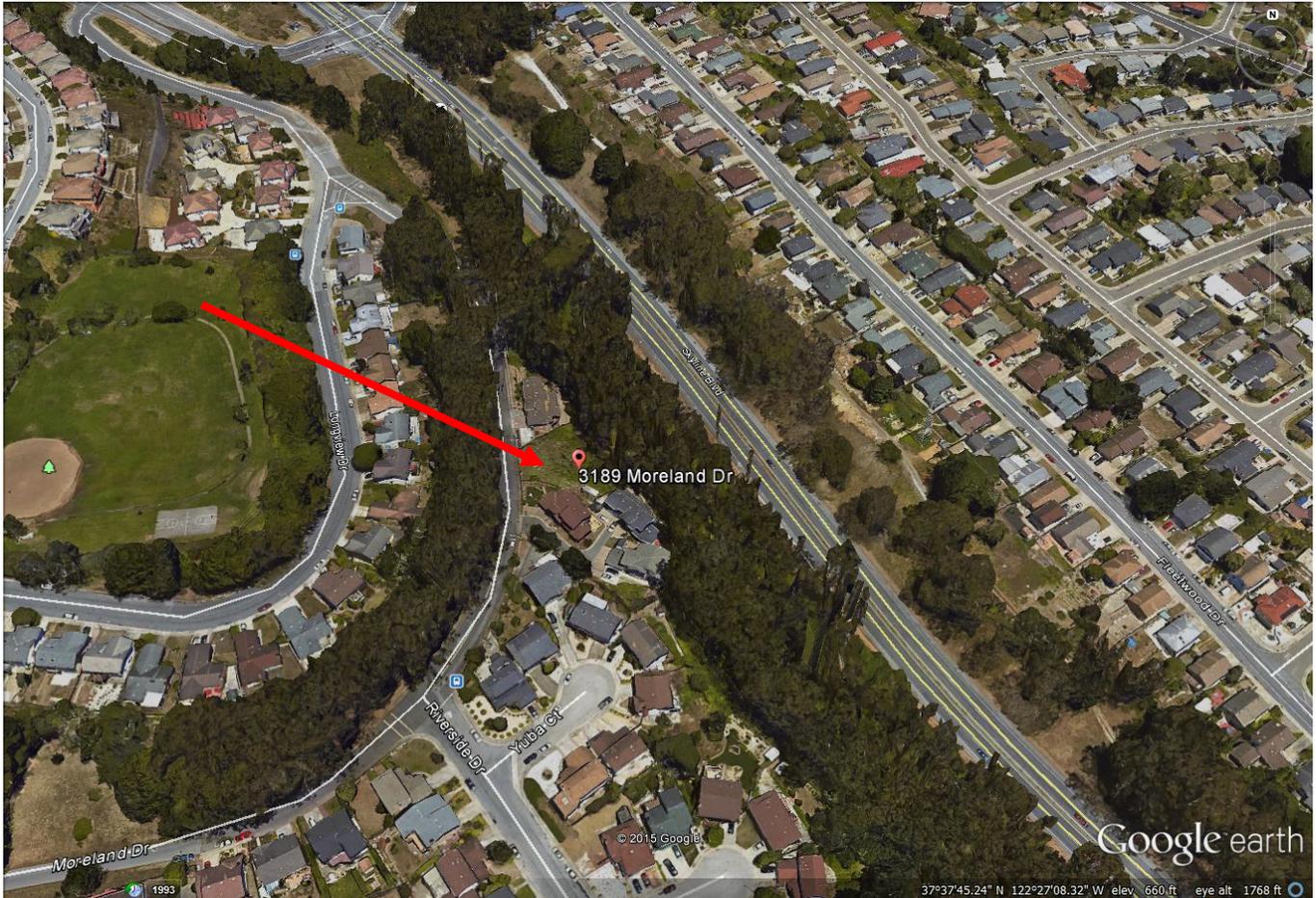
recommendations for appropriate soil engineering to reduce seismic hazards.

36. All construction and grading shall be performed in compliance with the 2013 California Building Code (CBC). All geotechnical recommendations and requirements of the CBC shall be incorporated into the individual lot design and become part of the grading and construction specifications. The Geotechnical Engineer who prepared the geotechnical report shall review all construction plans prior to submittal of plans to the City and conduct any inspections, testing and other actions during construction that are called for in the geotechnical report, provided the inspector is a qualified special inspector in accordance with CBC Chapter 17 Section 1704.

37. Engineered retaining walls over 3 feet in height shall be constructed of approved durable material, to the satisfaction of the City Engineer, Community Development Director, and Building Official. The top of all retaining walls shall be designed to ensure proper drainage and maintenance.

Date of Preparation: May 13, 2015
Prepared by: Paula Bradley, MCP, AICP, Contract Associate Planner

Exhibit A: Site Location



3189 Moreland Drive
017-513-310
UP-15-002

Exhibit B: Photographs



**Subject Site: View from Moreland Drive and
from inside the existing perimeter fence**



Residence to the Northwest - 3199 Moreland



Two residences to the southwest and southeast - 3179 and 3169 Moreland



Adjacent home to Southwest on private driveway off
Moreland Drive - 3179 Moreland Drive



Adjacent home to Northwest –
3199 Moreland Drive

GENERAL NOTES

GENERAL NOTES AND REQUIREMENTS

- THESE DRAWINGS ARE THE PROPERTY OF RIB DESIGN A CONSULTING AND THEY ARE NOT TO BE USED FOR ANY OTHER JOB WITHOUT WRITTEN PERMISSION BY THE ARCHITECT AND ENGINEER.
- THE ARCHITECT AND ENGINEER ASSUME NO RESPONSIBILITY FOR THE QUALITY OF THE WORK OR MATERIALS, METHODS OF CONSTRUCTION OR TIMELINESS IN PERFORMANCE OF THE WORK.
- GENERAL CONDITIONS AS DOCUMENT ADDI. GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS TO BE HELD RESPONSIBLE TO PROVIDE THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE PROJECT.
- EXISTING CONDITIONS SHOWN ON THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS.
- ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- PRIOR TO CONSTRUCTION, DISCREPANCIES AND CONSTRUCTION DESIGN DETAILS BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS AND THE EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND CONSTRUCTION BEYOND LATEST AMENDMENTS & CODE REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY AND ALL WORK INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, TELEPHONE AND LIGHTING INCLUDING PIPING, DUCTWORK AND CONDUIT, AND THAT ALL CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ANY MATERIAL PURCHASING AND CONSTRUCTION. AS THE DESIGN AND MANUFACTURER REQUIREMENTS MAY CHANGE FROM TIME TO TIME, CONTRACTOR SHALL COORDINATE AND CONFIRM WITH MANUFACTURER REGARDING THE LATEST UPDATED LOCAL AND FEDERAL REQUIREMENTS OF THE PRODUCTS. BY APPROVING, STAMPING AND SUBMITTING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, THE CONTRACTOR REPRESENTS THAT HE HAS DETERMINED AND VERIFIED THE FIELD MEASUREMENTS, AND FIELD CONSTRUCTION INFORMATION WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND DRAWINGS. CONTRACTOR SHALL REPORT TO THE ARCHITECT ABOUT ANY DEVIATIONS TO THE DESIGN PLANS PRIOR TO PROCEEDING WITH THE WORK.
- ALL MATERIALS AND FINISHES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL FOLLOW ALL REFERENCED STANDARDS FOR INSTALLATIONS OF ITEM AS INDICATED.
- CONFLICTS BETWEEN WORK ELEMENTS IN THE DRAWINGS AND THE APPLICABLE CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER AND SHALL NOT BE THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL CODE AND ORDINANCE PROVISIONS, COMPLIANCE WITH MINIMUM CODE AND REQUIREMENTS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE WORK IN CONFORMANCE WITH THE INTENT OF THESE DRAWINGS.
- THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THESE DRAWINGS BY THE ARCHITECT'S REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA OR SAMPLES. UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT IN WRITING OF SUCH DEVIATIONS AT THE TIME OF SUBMISSION AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- PLUMBING, THE CONTRACTOR SHALL OBTAIN MECHANICAL, ELECTRICAL, PLUMBING AND RELATED SUB PERMITS, AND PAY ALL CITY AND/OR COUNTY FEES RELATING TO PROJECT EXCEPT THE GENERAL BUILDING PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNER AND IS REMUNEABLE TO THE GENERAL CONSTRUCTION.
- IF FIELD DESIGN BUILD PROVIDE SHOP SUBMITTALS FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
- CODES: EXECUTE WORK IN ACCORDANCE WITH ANY AND ALL APPLICABLE CODES, MANUFACTURER'S RECOMMENDATIONS AND TRADE AND REFERENCE STANDARDS, INCLUDING BUT NOT LIMITED TO CALIFORNIA BUILDING CODE, NATIONAL ELECTRIC CODES, NATIONAL MECHANICAL CODES AND NATIONAL PLUMBING CODES, SEMI-CODES: NFPA, ASME, ANSI, HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, STATE TITLE AND ADMINISITRATIVE CODES, CITY/COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY AND CHECK LOT DIMENSIONS, CORNER STAKES TOPOGRAPHIC, ETC. TO SET BUILDING LOCATION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR PROTECTING AND PRESERVING THE WORK. CONTRACTOR SHALL LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS BEING PERFORMED.
- CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF EACH DAY. AT THE COMPLETION OF CONSTRUCTION, REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DIRT, OIL AND STAINS.
- PATCHING: PROPERTY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING SURFACES ALTERED BY CONSTRUCTION, ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION COLOR AND TEXTURE.
- ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE COMPLETED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE PART OF THE WORK. ALIQUA AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.
- "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT U.O.N.
- "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION WITH DRAWINGS.
- DETAILS ARE USUALLY NOTED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT U.O.N.
- INSTALLATION: ALL ITEMS SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATION. THE CONTRACTOR SHALL PROVIDE THE MANUFACTURER'S GUARANTEED PRODUCT DATA AND RELATED INFORMATION FOR OWNER'S MAINTENANCE AND OPERATION OF PRODUCTS.
- SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REBUILT CONSTRUCTION TIME FOR ALL SUB CONTRACTOR'S WORK AND A COST BY TRADE BREAKDOWN FOR USE BY SCHEDULING AND BIDDING PAY REQUESTS.
- SUBSTITUTIONS: SUBSTITUTIONS OR CHANGES MUST HAVE WRITTEN APPROVAL BY THE ARCHITECT AND THE OWNER PRIOR TO PROCEEDING WITH THE WORK.
- DAMAGE: THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ALL DAMAGES CAUSED BY HIM OR HIS SUB CONTRACTORS TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER. GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTS WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT EITHER PARTIAL OR FINAL, SHALL BE CONSIDERED AS AN ACCEPTANCE OF DEFECTS OF WORK OR MATERIALS.
- DESTRUCTION: ALL DEMOLITION INDICATED ON PLANS SHALL BE CAREFULLY CUT AND REMOVED IN ORDER TO MINIMIZE DISRUPTION AND DAMAGE OF EXISTING CONSTRUCTION.
- COLLISIONS: CENTER LINES ARE ALSO REFERENCED TO AS USEFUL LINES ARE SHOWN FOR DIMENSIONAL PURPOSES (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS).
- ALL PARTITIONS ARE UNDESIGNED TO FINISH FACE OF WALL, UNLESS OTHERWISE NOTED ALLOW FOR THICKNESS OF F.L.E. ETC. WHILE OCCURS.
- SEAL ALL SOUND RATED CONSTRUCTIONS AIGHT AT INTERSECTING SURFACES AND PENETRATIONS.
- ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE CURRENT BUILDING STANDARDS.

SCOPE OF WORK

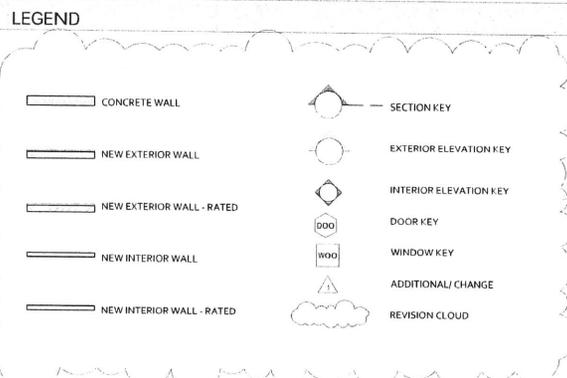
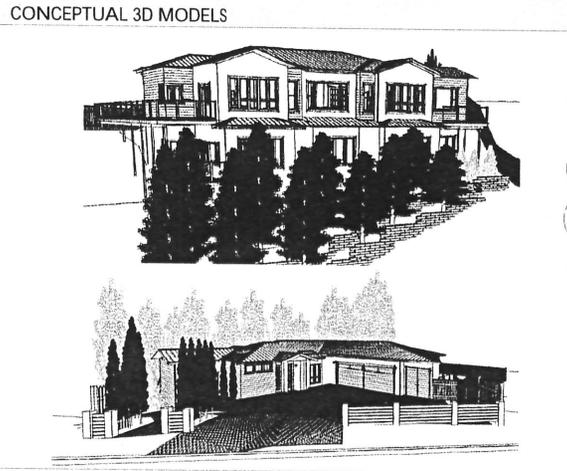
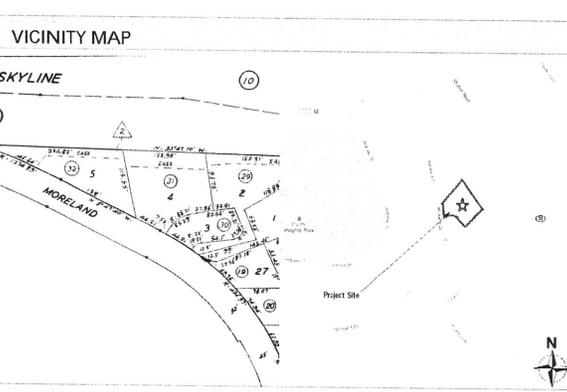
NEW TWO-STORY SINGLE FAMILY DWELLING WITH FOUR BEDROOMS, DEN, LIVING, DINING, KITCHEN AND FAMILY ROOM ON DOWN SLOPE SITE WITH AVERAGE, 33.8%.

ABBREVIATIONS

&	AND	INFO.	INFORMATION
AT	AT	INSUL.	INSULATION
#	FOUND OR NUMBER	LI	LIGHT
		LAM	LAMINATE
AC	AIR CONDITIONING	MTO	MOUNTED
ACCUS	ACCUOUS	MTL	METAL
ADJ.	ADJACENT	MUL	MULLION
A F F	ADJUSTABLE ABOVE FINISH FLOOR	(N)	NEW
ALUM.	ALUMINUM	N I C	NOT IN CONTRACT
APPROX.	APPROXIMATE	N T S	NOT TO SCALE
ARCH.	ARCHITECTURAL		
BD	BOARD	O.C	ON CENTER
BLDG.	BUILDING	OPP.	OPPOSITE
BLK.	BLOCK		
BLKG.	BLOCKING	P.L.	PROPERTY LINE
BLW.	BELOW	PLAM	PLASTIC LAMINATE
BM	BEAM	PLBG.	PLUMBING
BT	BOTTOM	PLYWD	PLYWOOD
CAB	CABINET	R.D.	ROOF DRAIN
CH	CEILING HEIGHT	REF.	REFERENCE
CL	CENTER LINE	REF.	REFRIGERATOR
CLG.	CEILING	REIN.	REINFORCED
COL.	COLUMN	REQD.	REQUIRED
CONC.	CONCRETE	RM.	ROOM
CONST.	CONSTRUCTION	RWD.	REWOOD
DBL	DOUBLE	S.A.	SUPPLY AIR
DET.	DETAIL	SHT.	SHEET
DN	DOWN	SHTG.	SHEETING
DR	DOOR	SPEC.	SPECIFICATION
EA	EACH	S.S.	STAINLESS STEEL
EL.	ELEVATION	SL DR	SLIDING DOOR
ELEV.	EQUAL	SKYLT.	SKYLIGHT
EQUIP.	EQUIPMENT	S.D.	SMOKE DETECTOR
EXH.	EXHAUST	T.	TREAD
EX.	EXISTING	T.A.	TREE AREA
EXP.	EXPANSION	T.B.	TOWEL BAR
EXPOSED	EXPOSED	T.C.	TOP OF CONCRETE
EXT.	EXTERIOR	T.O.	TOP OF
		TV	TELEVISION
F.L.	FLOOR	TYP.	TYPICAL
FDR.	FLOOR DRAIN		
FDN.	FOUNDATION	U.N.O.	UNLESS NOTED OTHERWISE
FTG.	FOOTING	U.O.N.	UNLESS OTHERWISE NOTED
FURN.	FURNISHING	V.C.T.	VINYL COMPOSITION TILE
		VERT.	VERTICAL
G.M.	GASMETER	V.I.F.	VERIFY FIELD
GYPM.	GYPSON		
H.B.	HOSE BIBB	W/	WITH
HDR.	HEADER	W.C.	WATER CLOSET
HWDD.	HARDWOOD	WOOD	WOOD
HORIZ.	HORIZONTAL	W.P.	WATERPROOF WEATHERPROOF
		WT.	WEIGHT

APPLICABLE BUILDING CODES

- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA ENERGY CODE
- 2013 CALIFORNIA FIRE CODE
- 2013 CALIFORNIA RESIDENTIAL CODE
- City of San Bruno Planning and Zoning Ordinances



PROJECT INFORMATION

ADDRESS: 3189 MORELAND DR. SAN BRUNO, CA 94066
 BLOCK NO: 513 LOT: 31
 ZONE: R-1 SINGLE FAMILY RESIDENTIAL
 A.P.N.: 017-513-310
 TOTAL LOT SIZE: 14,577 SF
 ZONING ORDINANCE: (DETACHED STRUCTURE)
 ADJUSTED LOT SIZE: 14,577 SF X 0.98 (ADJUSTMENT FACTOR) = 8,454.66 SF
 PERMITTED LIVING AREA: 8654.66 SF X 4.38 (IF A.R.) = 3,786.23 SF
 ALLOWABLE COVERAGE: 3686.23 SF X 80% = 2,948.98 SF
 SLOPE RATIO: 33.8%
 REAR SETBACK: 10' [1.a.i]
 FRONT SETBACK: 15'
 SIDE SETBACK: 5'
 HEIGHT LIMIT: 26'
 TYPE OF CONSTRUCTION: V B
 FIRE SPRINKLERS: NO
 PROPOSED LANDSCAPING AREA: [1.b.i]
 APPROX. 4,679 SF = 32% OF TOTAL LOT AREA
 SEE DETAILS SHEET A.1
 (EXCLUDES PAVED DRIVEWAY AND WALKWAY)
 PROPOSED BUILDING COVERAGE: [1.a.ii]
 GROUND FLOOR: 1,642 SF
 1ST FLOOR DECKS: 731 SF
 GARAGE: 107 SF (CU PERMIT)
 TOTAL: 3,080 SF (ALLOWABLE COVERAGE 2,948.98 SF) (63.2%)
 PROPOSED FRONT SETBACK AREA COVERAGE:
 TOTAL FRONT SETBACK AREA: 415 SF (15x152)+(7x1072)-(15x511)
 PAVED WALKWAY: 88 SF
 PAVED DRIVEWAY: 366 SF
 TOTAL: 454 SF (85.7%)
 PROPOSED FLOOR AREA:
 1ST FLOOR: 1,631 SF
 GROUND FLOOR: 1,642 SF
 GARAGE AREA: 707 SF (CU PERMIT) [1.a.b.i.a.iv]
 TOTAL GROSS FLOOR AREA: 3,980 SF (PERMITTED LIVING AREA 3,686.23 SF)
 (LIVABLE AREA W/O GARAGE: 3,273 SF)
 DECK: 828 SF (1ST AND GROUND LEVEL DECKS)

TABLE OF CONTENT

A1.1	PROJECT INFORMATION, SITE MAP, AND LEGEND
SU-1	SURVEY
A1.2	CAL GREEN STATEMENT
A2.1	SITE PLAN
A3.1	FLOOR PLAN - FIRST FLOOR
A3.2	FLOOR PLAN - GROUND FLOOR
A3.3	ROOF PLAN
A4.1	ELEVATIONS
A4.2	ELEVATIONS
A5.1	SECTIONS
A6.1	LANDSCAPE PLAN

1	DATE	REVISION	BY
1	3/19	PLANNING	S

SHEET TITLE:
 PROJECT INFORMATION, SCOPE OF WORK, ABBREVIATIONS, APPLICABLE BUILDING CODES, LEGEND, VICINITY MAP, AND TABLE OF CONTENT

SCALE: AS SHOWN
 DATE: May 5, 2015
 DRAWN BY: S
 SHEET NO:

A1.1

453 Forbes Blvd
 S. San Francisco, CA 94081
 Office: 415.963.3343
 Fax: 415.963.3343

WONG'S RESIDENCE
 3189 MORELAND DR., SAN BRUNO,
 CALIFORNIA 94066

MONUMENT LINE ON MORELAND DR IS SHOWN ON THAT CERTAIN MAP ENTITLED "PORTOLA HIGHLANDS NO 6" FILED JUNE 2, 2003 IN BOOK 133 OF MAPS, PAGES 67 AND 68 OFFICIAL RECORDS OF SAN MATEO COUNTY. WAS TAKEN N 8° 47' 40" W

PUNCH MARK ON THE MONUMENT WELL AT FRONT OF THE LOT IS TAKEN AS EL=588.28'

THE SURFACE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM RECORDS OF THE VARIOUS AGENCIES. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THEIR INDICATED LOCATION, SIZE OR TYPE. RECORD UTILITY INFORMATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

1. THERE ARE NO VERTICAL CURVES WITHIN 300 FEET OF THE PROPERTY.
2. THERE ARE NO EXISTING DRIVEWAYS WITHIN 50 FEET OF THE PROPERTY EXCEPT AS SHOWN.
3. THERE ARE NO EXISTING BUS STOPS AND CROSS WALKS WITHIN 100 FEET OF THE PROPERTY.

- FOUND STANDARD STREET MONUMENT
- IRON ROD
- BUILDING EDGE
- CONC CONCRETE
- A/C ASPHALT
- SD DRAIN INLET
- SS SANITARY SEWER
- ± SET CROSS IN CONCRETE
- C/L CENTERLINE
- PP POWER POLE
- P/L PROPERTY LINE
- TC TOP OF CURB
- FL FLOW LINE
- WB WATER BOX
- MH MANHOLE
- SW SIDEWALK
- AC ASPHALT CONCRETE
- SL STREET LIGHT
- DW DRIVEWAY
- ED EDGE OF PAVEMENT
- WV WATER VALVE
- S STREET SIGN
- TOP TOP OF FOOTING
- TOW TOP OF RETAINING WALL
- PH FIRE HYDRANT

THIS MAP CORRECTLY REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AT THE REQUEST OF MIKE ROSEN ON OCTOBER 10, 2011

I HEREBY STATE THAT ALL EXISTING GRADES DELINEATED UPON THIS PLAT ARE BASED UPON CITY OF SAN BRUNO DATUM.

I HEREBY FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

I HEREBY FURTHER STATE THAT THE PARCEL DELINEATED BY MY SURVEY AND SHOWN ON THIS MAP IS THE SAME AS THAT SHOWN ON THE CURRENT EQUALIZED COUNTY ASSESSMENT AS APN 017-513-310

I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE PROFESSIONAL LAND SURVEYOR'S ACT THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE A RECORD OF SURVEY.



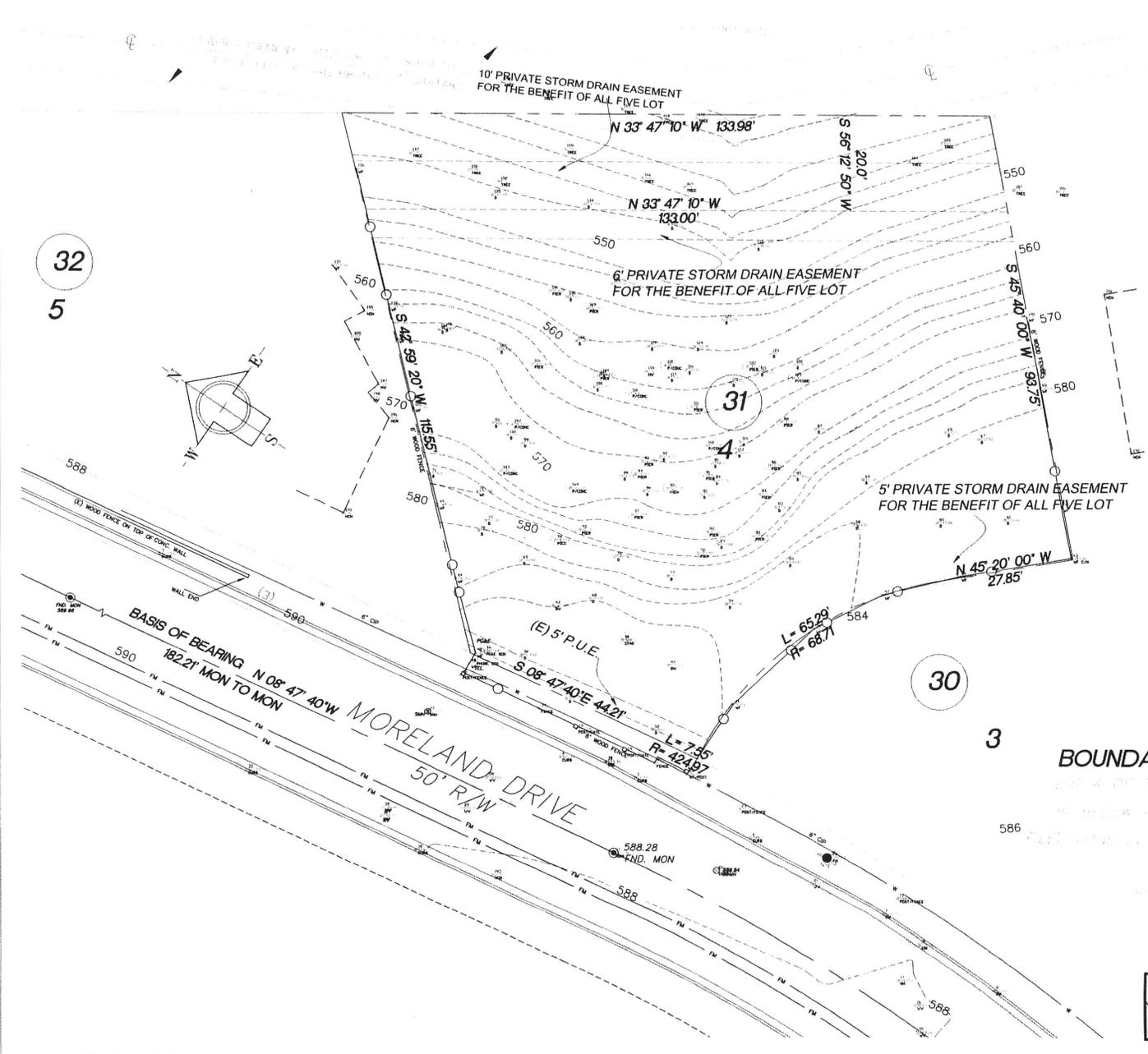
EKUNDAYO SOWUNMI, P.E.
LICENSE EXPIRES DECEMBER 31, 2011

BOUNDARY AND TOPOGRAPHIC SURVEY

SCALE: 1" = 10' OCTOBER 10, 2011



526 Calero Ave, San Jose, CA 95123
Tel: (408) 425-4523
Fax: (408) 226-3475
Email: info@tranvu.com



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31
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3

BASIS OF BEARING N 08° 47' 40" W
182.21' MON TO MON
MORELAND DRIVE
50' R/W

(E) 5' P.U.E.
S 08° 47' 40" E 44.21'
L=7.95
R=424.97

L=65.20'
R=68.71

N 45° 20' 00" W
27.85'

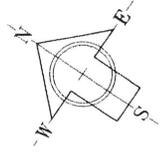
S 56° 12' 50" W
200.0'

N 33° 47' 10" W
133.98'

N 33° 47' 10" W
133.00'

S 42° 59' 20" W
115.55'

S 45° 40' 00" W
93.75'



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BUILDING MAINTENANCE AND OPERATION

- At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency (per 4.410.1).

Division 4.5 - ENVIRONMENTAL QUALITY

**SECTION 4.503
FIREPLACES**

POLLUTANT CONTROL

- At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris, which may enter the system (per CGC 4.504.1).
- Finish materials (per CGC 4.504.2).
- Adhesives, sealants and caulks used on the project shall meet the requirements (per 4.504.2.1).
- Architectural paints and coatings shall comply with VOC limits in Table 1 of the ABB Architectural Suggested Control Measure (per CGC 4.504.2.2).
- Aerosol paints and coatings shall meet the Product weighted MIR limits for RDC
- and other requirements (per CGC 4.504.2.3).
- Verification of compliance with this section shall be provided at the request of the enforcing agency (per CGC 4.504.2.4).
- All carpet installed in the building interior shall meet the testing and product requirements (per CGC 4.504.3).

P.3

- All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program (per CGC 4.504.3.1).
- All carpet adhesive shall meet the requirements of Table 4.504.1 (per CGC 4.504.3.2).
- Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with CGC 4.504.4.
- Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ABB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections (per CGC 4.504.5).

INTERIOR MOISTURE CONTROL

- Concrete slab foundations required to have a vapor retarder by the California Building Code, Chapter 19 or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section (per CGC 4.505.2).
- A capillary break shall be installed in compliance with CGC 4.505.2.1.
- Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with CGC 4.505.3.

INDOOR AIR QUALITY AND EXHAUST

- Each bathroom shall be mechanically ventilated and shall comply with CGC 4.506.1.

ENVIRONMENTAL COMFORT

Heating and air-conditioning systems shall be sized, designed and have their equipment selected using methods see CGC 4.507.2.

P.4

California Green Building Standards Code:

RESIDENTIAL MANDATORY MEASURES

Division 4.1 - PLANNING AND DESIGN

- Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs an acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site (per CGC 4.106.2).
- Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings (per CGC 4.106.3).

Division 4.2 - ENERGY EFFICIENCY

Division 4.3 - WATER EFFICIENCY AND CONSERVATION

INDOOR WATER USE

- Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with CGC 4.303.1.1, 4.303.1.2, 4.303.1.3.1, 4.303.1.3.2, 4.303.1.4.1, 4.303.1.4.2, 4.303.1.4.3, 4.303.1.4.3.
- Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1401.1 of the California Plumbing Code (per CGC 4.303.2).

OUTDOOR WATER USE

- Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with CGC 4.304.1.

P.1

Division 4.4 - MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

- Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency (per CGC 4.406.1).

CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

- Recycle and/or salvage for reuse a minimum of 50 percent of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4 or meet a more stringent local construction and demolition waste management ordinance (per CGC 4.408.1).
- Submit a construction waste management plan (per CGC 4.408.2).
- Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1 (per CGC 4.408.3).
- Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed four (4) lbs. (sq. ft. of the building area shall meet the minimum 50 percent construction waste reduction requirement in Section 4.408.1 (per CGC 4.408.4).
- Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed two (2) pounds per square foot of the building area shall meet the minimum 50 percent construction waste reduction requirement in Section 4.408.1 (per CGC 4.408.4.1).
- Documentation shall be provided to the enforcing agency (per CGC 4.408.5).

P.2



453 Forbes Blvd
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WONG'S RESIDENCE
3189 MORELAND DR., SAN BRUNO,
CALIFORNIA 94066

1	DATE	REVISION	BY
1	3/19	PLANNING	S

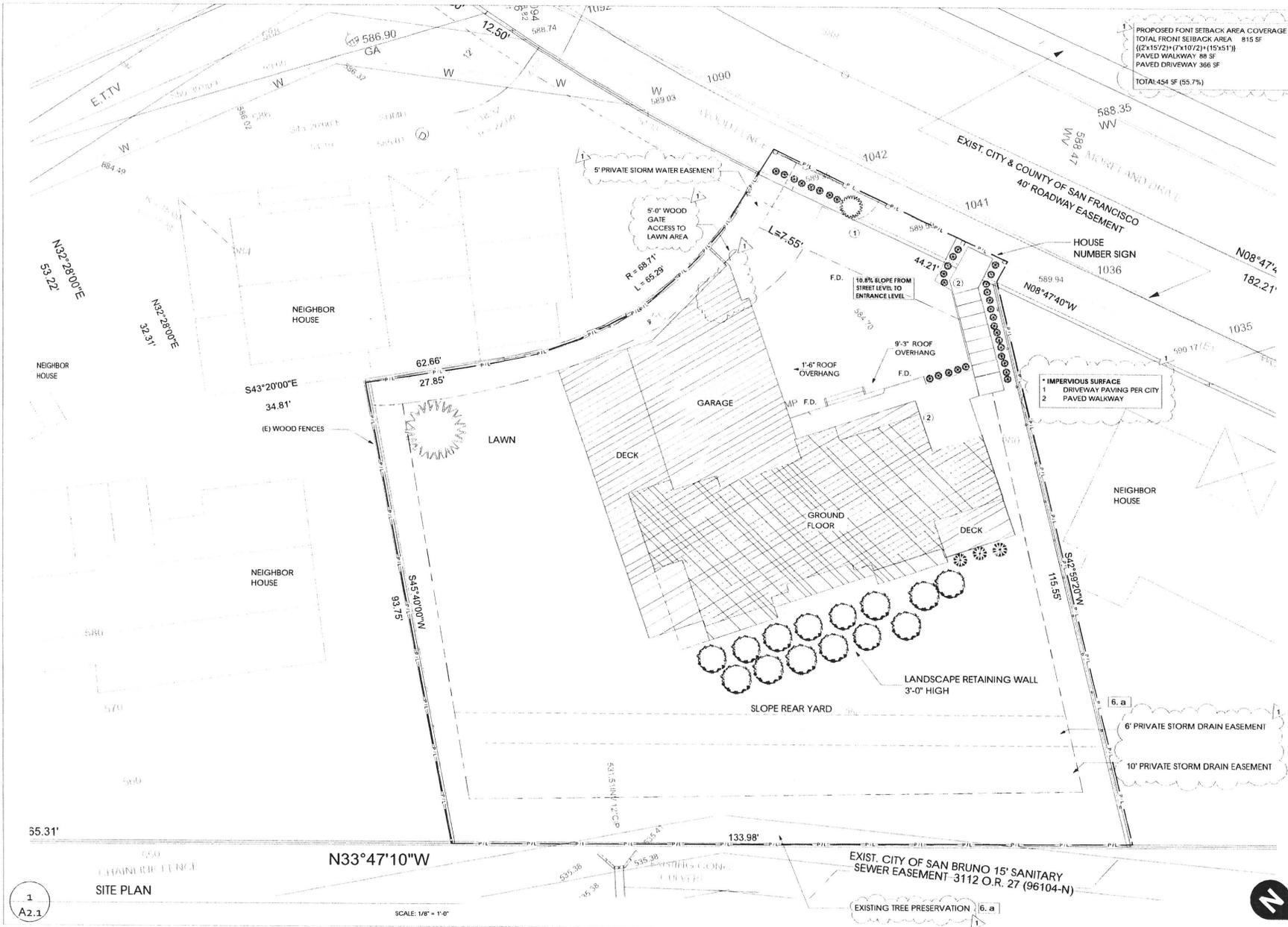
SHEET TITLE:

**CAL GREEN
STATEMENT**

SCALE: AS SHOWN
DATE: May 5, 2015
DRAWN BY: S

SHEET NO.

A1.2



PROPOSED FRONT SETBACK AREA COVERAGE
 TOTAL FRONT SETBACK AREA 815 SF
 (2'x157'2) + (7'x107'2) + (10'x51')
 PAVED WALKWAY 88 SF
 PAVED DRIVEWAY 366 SF
 TOTAL 454 SF (55.7%)

IMPERVIOUS SURFACE
 1 DRIVEWAY PAVING PER CITY
 2 PAVED WALKWAY



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WONG'S RESIDENCE
 3189 MORELAND DR., SAN BRUNO,
 CALIFORNIA 94066

1	DATE	REVISION	BY
1	3/19	PLANNING	S

SHEET TITLE:
SITE PLAN

SCALE: AS SHOWN
 DATE: May 5, 2015
 DRAWN BY: S

SHEET NO.

A2.1

1
 A2.1

SCALE: 1/8" = 1'-0"





453 Forbes Blvd
S. San Francisco, CA 94080

Office: 415.963.3343
Fax: 415.963.3343

WONG'S RESIDENCE
3189 MORELAND DR., SAN BRUNO,
CALIFORNIA 94066

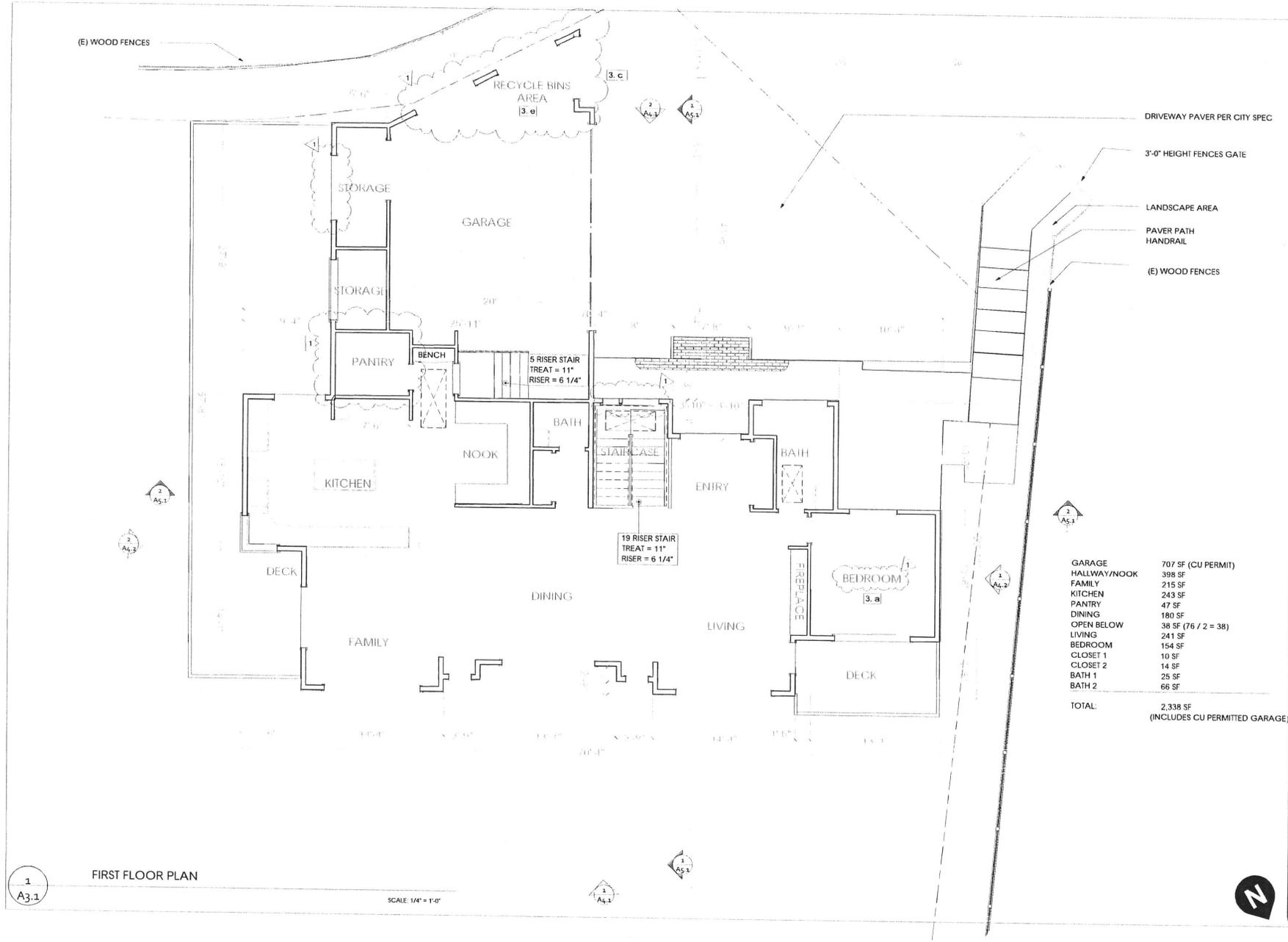
1	DATE	REVISION	BY
1	3/19	PLANNING	S

SHEET TITLE:
FIRST FLOOR PLAN

SCALE: AS SHOWN
DATE: May 5, 2015
DRAWN BY: S

SHEET NO.

A3.1



GARAGE	707 SF (CU PERMIT)
HALLWAY/NOOK	398 SF
FAMILY	215 SF
KITCHEN	243 SF
PANTRY	47 SF
DINING	180 SF
OPEN BELOW	38 SF (76 / 2 = 38)
LIVING	241 SF
BEDROOM	154 SF
CLOSET 1	10 SF
CLOSET 2	14 SF
BATH 1	25 SF
BATH 2	66 SF
TOTAL:	2,338 SF (INCLUDES CU PERMITTED GARAGE)

1
A3.1

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"





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NO.	DATE	REVISION	BY
1	3/19	PLANNING	S

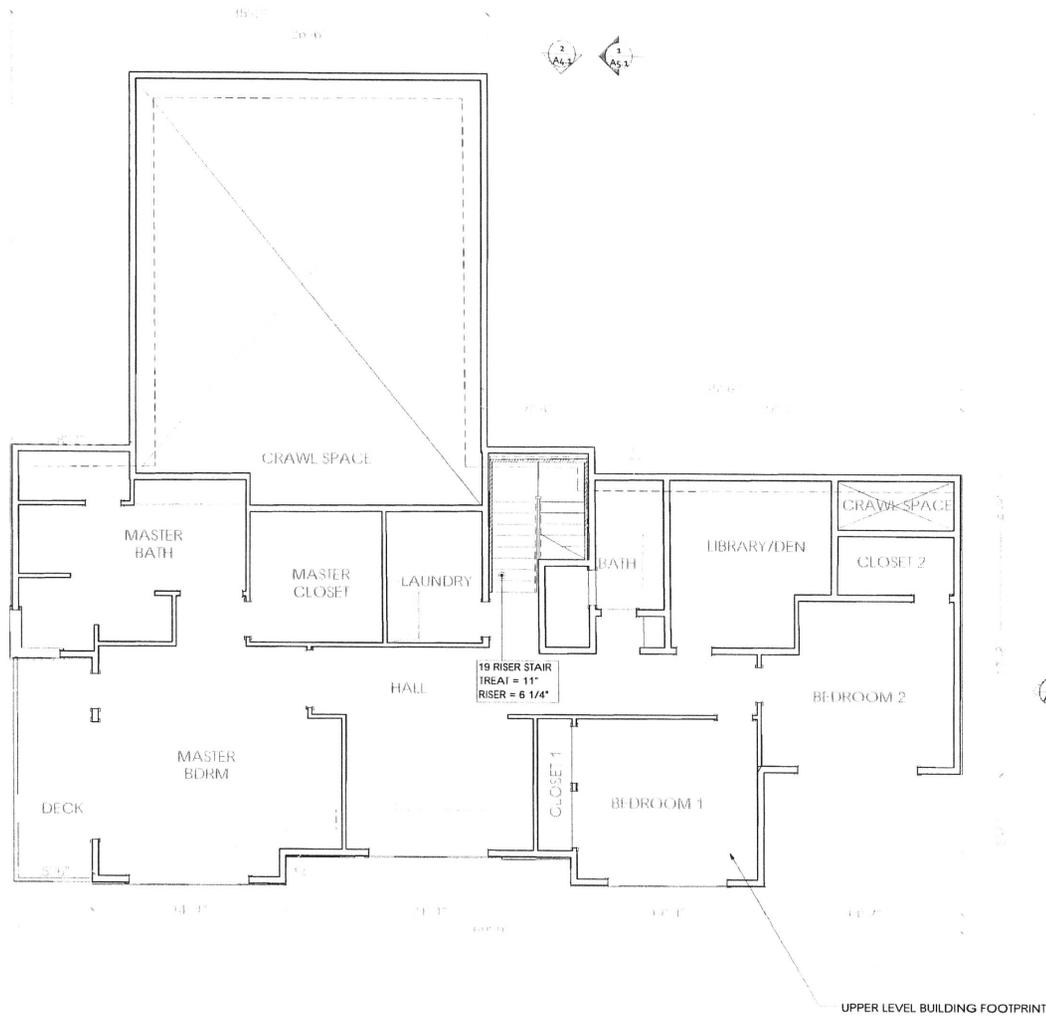
SHEET TITLE:
GROUND FLOOR PLAN

SCALE: AS SHOWN
DATE: May 5, 2015
DRAWN BY: S

SHEET NO.



A3.2



LAUNDRY	68 SF
BATH	69 SF
CLOSET 1	25 SF
BEDROOM 1	160 SF
CLOSET 2	36 SF
BEDROOM 2	164 SF
LIBRARY/ DEN	135 SF
MASTER CLOSET	93 SF
MASTER BEDROOM	304 SF
MASTER BATH	198 SF
HALL	390 SF
TOTAL:	1,642 SF

1
A3.2

GROUND LEVEL PLAN

SCALE: 1/4" = 1'-0"



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SHEET TITLE
ROOF PLAN

SCALE: AS SHOWN
DATE: May 5, 2015
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SHEET NO.

A3.3



ROOF PITCH DETAIL 4:12



ROOF PITCH DETAIL 3 1/4:12



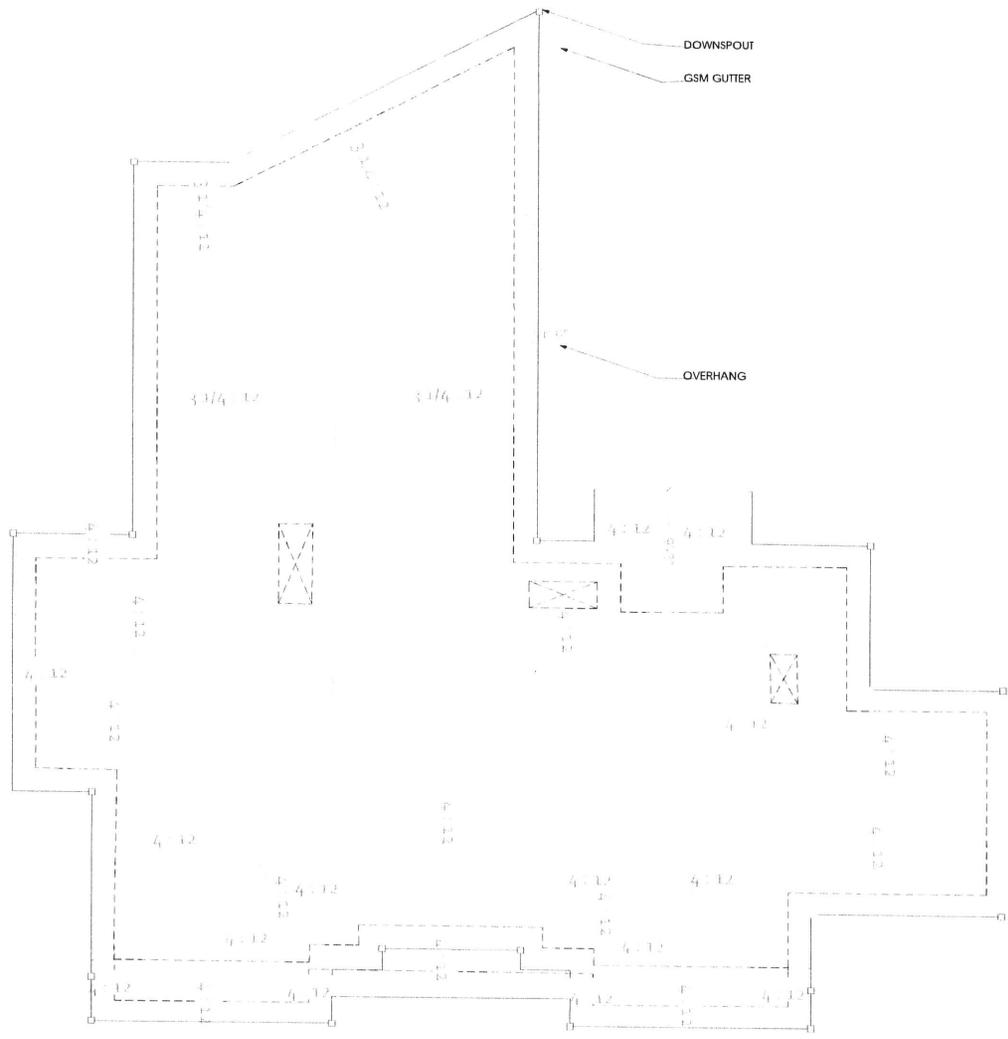
DOWNSPOUT



BUILDING FOOTPRINT



SKYLIGHT OPENING



1
A3.3

ROOF PLAN

SCALE: 1/4" = 1'-0"

- EXTERIOR MATERIALS**
- 1 CLAY ROOF TILES (JAPANESE STYLE/ MATTE FINISH)
 - 2 METAL GUTTER
 - 3 METAL DOWNSPOUT
 - 4 CEDAR WOOD SIDING
 - 5 LIGHT GREY STUCCO
 - 6 DARK GREY STUCCO
 - 7 TEMPERED GLASS PANEL RAILING
 - 8 SKYLIGHT

- WINDOW DETAILS**
- A SLIDING WINDOW
 - B SINGLE HANG + FIX
 - C SINGLE HANG
 - D FIX COMBINATIONS
 - E CASSEMENT + FIX
 - F TRIPLE SINGLE AWNING

- DOOR DETAILS**
- D1 DOUBLE GLASS DOOR TO BEDROOM
 - D2 DOUBLE ENTRANCE DOOR (WOOD/ GLASS)
 - D3 DOUBLE GLASS DOOR TO KITCHEN

587.6 (the highest building structure touching point to the ground) - 562 (the lowest building structure touching point to the ground) = 25'-6"

$25'-6"/2 = 12'-9"$

$12'-9" + 562' = 574'.9$ (the average point of building structure height)



- HEIGHT LIMIT +600.9
- HIGHEST ELEVATION POINT +600.0
- BOTTOM ROOF LEVEL +595.0
- STREET LEVEL +589.6
- DRIVEWAY LEVEL +587.6
- FIRST FLOOR ELEVATION +585.0
- AVERAGE ELEVATION POINT +574.9
- LOWER FLOOR ELEVATION +574.0
- LOWEST ELEVATION POINT +562.0

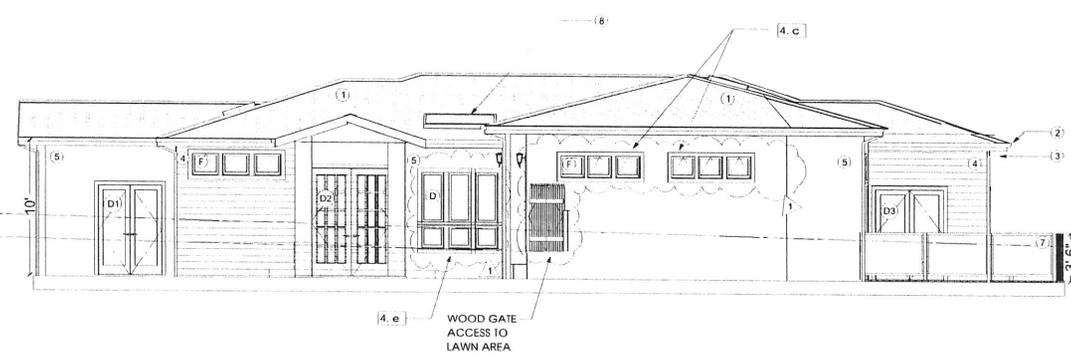
HEIGHT PER CITY CODE DEFINITION 12.80.245

1
A4.1

REAR ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"

- HEIGHT LIMIT +600.9
- HIGHEST ELEVATION POINT +600.0
- BOTTOM ROOF LEVEL +595.0
- STREET LEVEL +589.6
- DRIVEWAY LEVEL +587.6
- FIRST FLOOR ELEVATION +585.0
- AVERAGE ELEVATION POINT +574.9
- LOWER FLOOR ELEVATION +574.0



WOOD GATE ACCESS TO LAWN AREA

2
A4.1

FRONT ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"



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SHEET TITLE:
ELEVATIONS

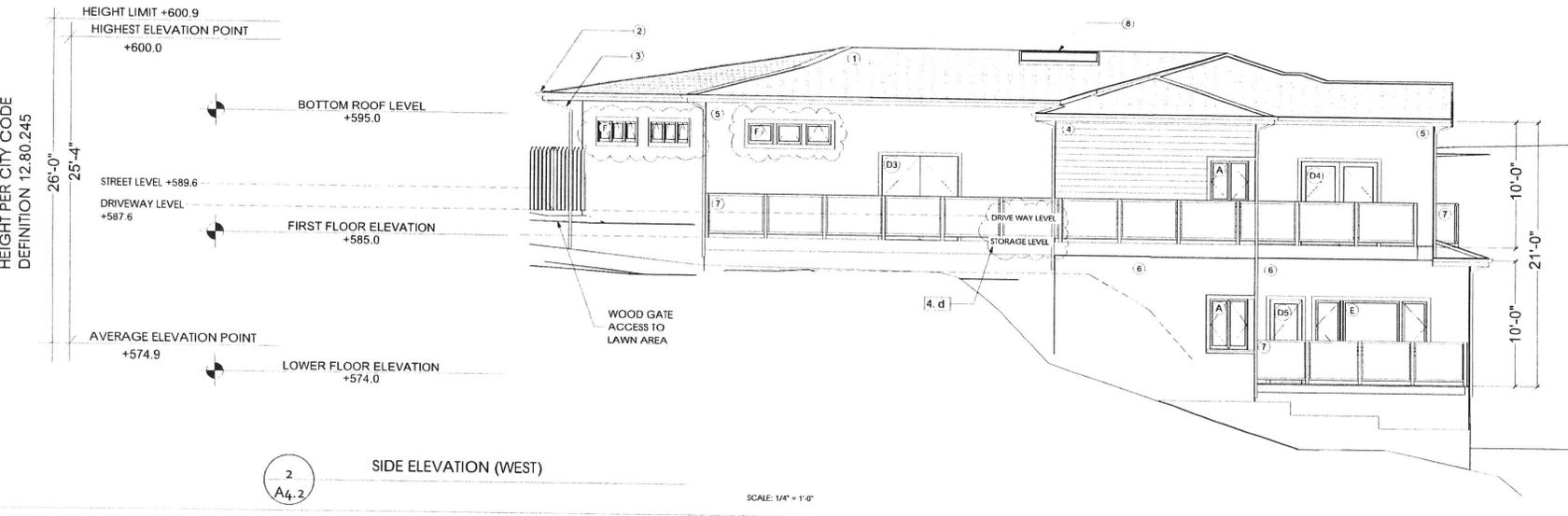
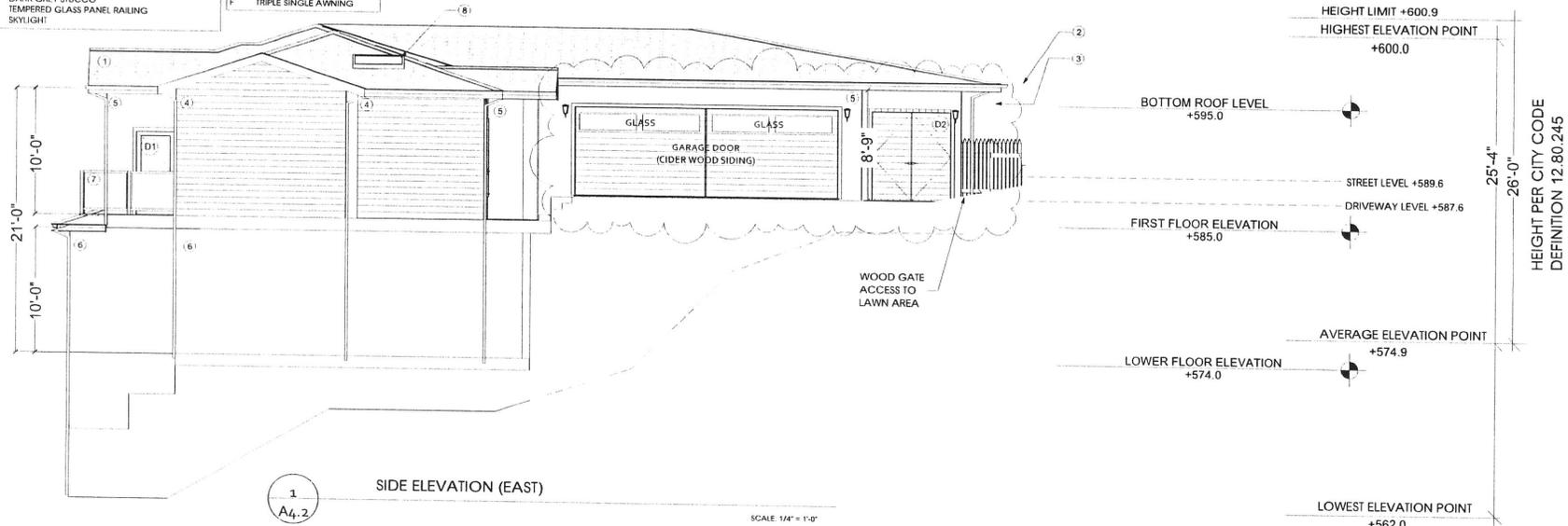
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A4.1

- EXTERIOR MATERIALS**
- 1 CLAY ROOF TILES (JAPANESE STYLE/ MATTE FINISH)
 - 2 METAL GUTTER
 - 3 METAL DOWNSPOUT
 - 4 CIDER WOOD SIDING
 - 5 LIGHT GREY STUCCO
 - 6 DARK GREY STUCCO
 - 7 TEMPERED GLASS PANEL RAILING
 - 8 SKYLIGHT

- WINDOW DETAILS**
- A SLIDING WINDOW
 - B SINGLE HANG + FIX
 - C SINGLE HANG
 - D FIX COMBINATIONS
 - E CASEMENT + FIX
 - F TRIPLE SINGLE AWNING

- DOOR DETAILS**
- D1: SINGLE GLASS DOOR TO LIVING
 - D2: DOUBLE WOODEN DOOR TO WASTE MANAGEMENT
 - D3: DOUBLE DOOR TO EXTERNAL STORAGE
 - D4: DOUBLE GLASS DOOR TO FAMILY
 - D5: SINGLE GLASS DOOR TO MASER BDRM



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SHEET TITLE:
ELEVATIONS

SCALE: AS SHOWN
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A4.2



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WONG'S RESIDENCE

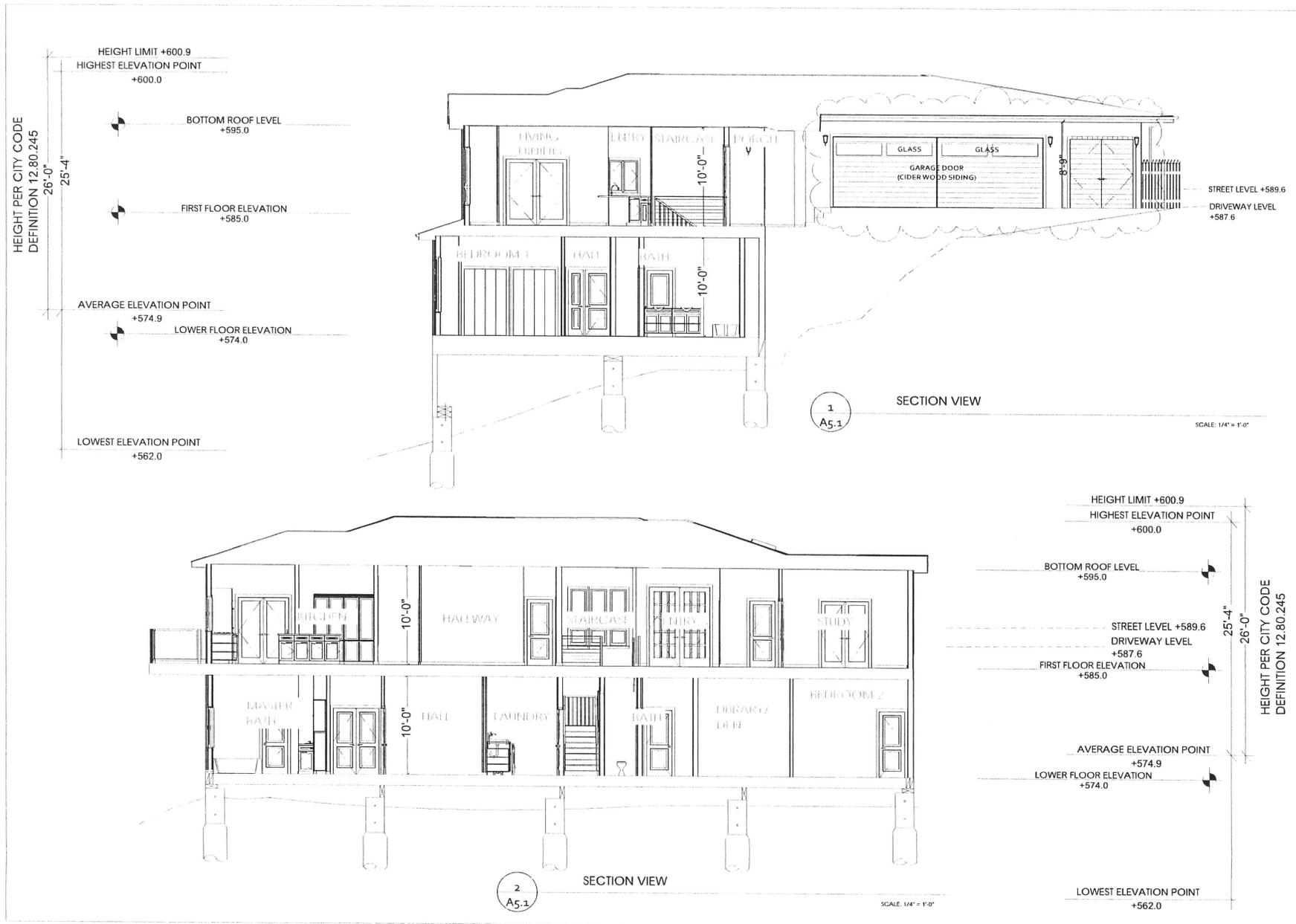
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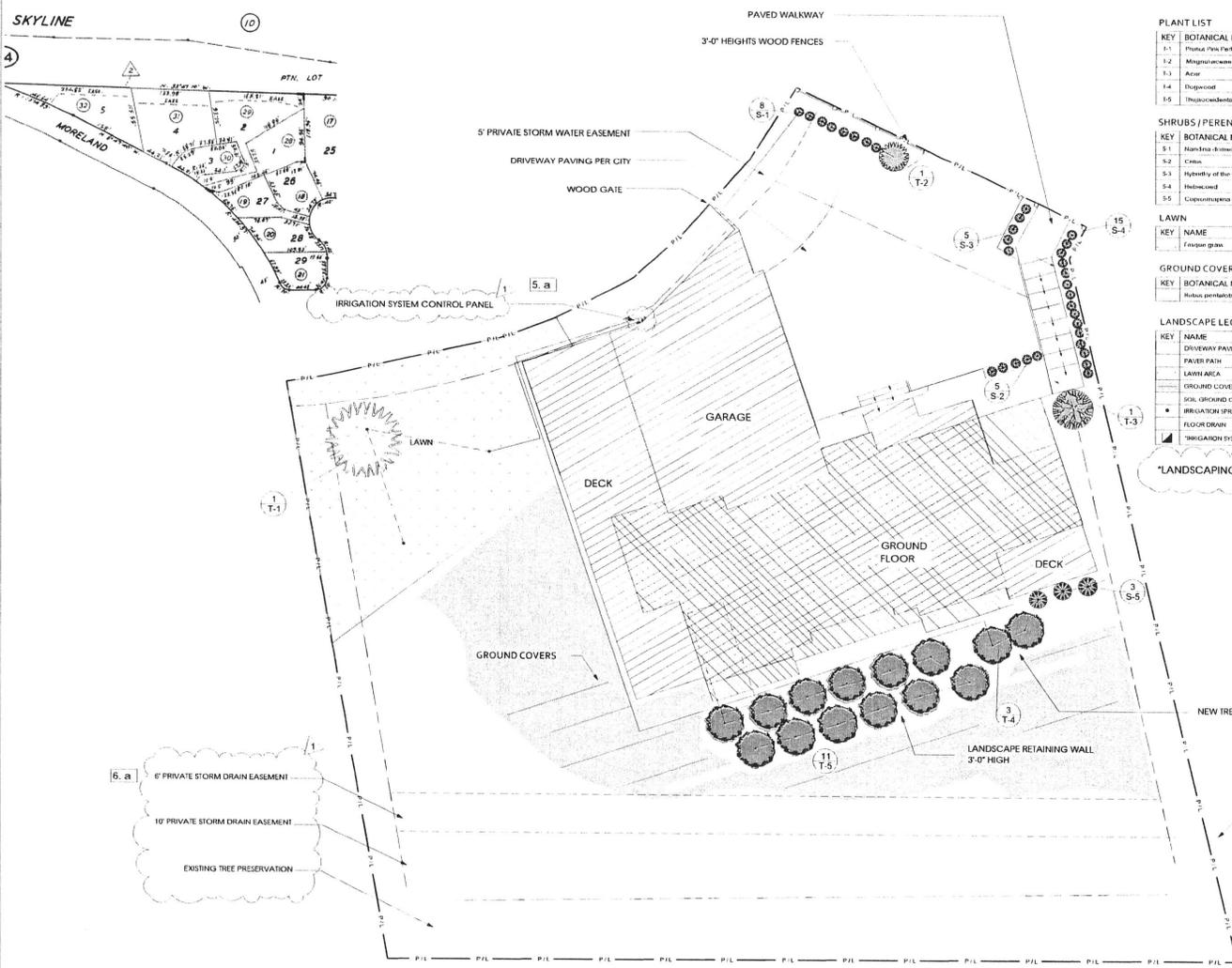
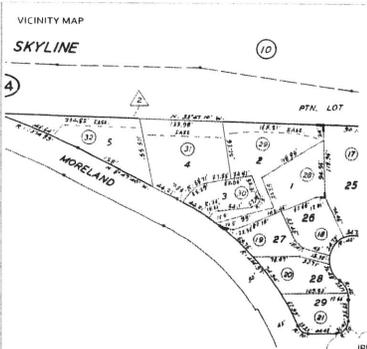
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SHEET TITLE:
SECTIONS

SCALE: AS SHOWN
DATE: May 5, 2015
DRAWN BY: S
SHEET NO.

A5.1





PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPREAD	GROWTH	YEAR
1.1	<i>Platanus racemiflora</i>	Howering Platanus	1	18 GAL	7'-10"	2'-3" Year	5 YRS
1.2	<i>Magnolia grandiflora</i>	Magnolia	1	18 GAL	7'-10"	2'-3" Year	5 YRS
1.3	<i>Acer</i>	Maple Bloodroot	1	18 GAL	7'-10"	2'-3" Year	5 YRS
1.4	<i>Thuja occidentalis</i>	Common	3	18 GAL	7'-10"	2'-3" Year	5 YRS
1.5	<i>Thuja occidentalis</i>	Emerald green	11	18 GAL	7'-10"	2'-3" Year	5 YRS

SHRUBS / PERENNIALS

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPREAD	GROWTH	YEAR
S.1	<i>Hieracium</i>	Heavenly vision	4	5 GAL	3'	2'-3" Year	5 YRS
S.2	<i>Ceanothus</i>	Rockrose	5	5 GAL	3'	2'-3" Year	5 YRS
S.3	<i>Hydrangea</i>	Peach blossom	5	5 GAL	3'	2'-3" Year	5 YRS
S.4	<i>Hydrangea</i>	Hedge	15	5 GAL	3'	2'-3" Year	5 YRS
S.5	<i>Cotoneaster</i>	Hybrid/overplanted mariposa	3	5 GAL	3'	2'-3" Year	5 YRS

LAWN

KEY	NAME	QTY
	Festuca grass	1,430 sq ft

GROUND COVER

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPREAD	GROWTH	YEAR
	<i>Rubus perigrinus</i>	Emerald carpet	70	1 GAL			

LANDSCAPE LEGEND

KEY	NAME	QTY
	DRIVEWAY PAVING PER CITY SPEC	
	LAWN AREA	1,317 SQ FT
	GROUND COVER	2,898 SQ FT
	SOIL GROUND COVER	463 SQ FT
	IRRIGATION SPRINKLER HEAD	
	FLOOR DRAIN	
	IRRIGATION SYSTEM 4 STATIONS (IMBED IN GARAGE)	4

*LANDSCAPING AREA 2,899 + 1,317 + 463 = 4,679 SQ FT (32% OF TOTAL LOT AREA) (5. b)



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SHEET TITLE:
LANDSCAPE PLAN

SCALE: AS SHOWN
DATE: May 5, 2015
DRAWN BY: S

SHEET NO.



A6.1

1
A6.1

LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"